



CITY OF CAPE TOWN
ISIXEKO SASEKAPA
STAD KAAPSTAD

CASE ID 1500135812

Erf 2354, 24 Leeukoppie Road,
Llandudno, Hout Bay

Development Management

Date: 18 December 2024 (as amended 3 June 2025)

Ref: 11235



APPLICATION FOR REMOVAL OF TITLE DEED RESTRICTIONS, DELETION OF CONDITIONS OF AN EXISTING APPROVAL, DEPARTURES AND COUNCIL'S APPROVAL: ERF 2354 HOUT BAY, AT 24 LEEUKOPPIE ROAD, LLANDUDNO



The location of the property in the Llandudno context (still showing the original house, which has since been demolished).



The location of the property showing the original house on the property



The location of the property – now with the demolished house and excavations underway

1 INTRODUCTION

This report serves to motivate the approvals required to enable the proposed alterations and additions to the new single dwelling house, which is currently being constructed on the property in terms of approved building plans.

The following applications are made in terms of the Municipal Planning By-Law (2015), as amended (“the By-Law”):

- 1.1 In terms of Section 42(g) and (j) of the By-Law to **remove the following restrictive title deed conditions** and to **delete the previous conditions of approval** from Deed of Transfer

- 1.1.1 Condition V.6(c) which relates to the “built upon” area and reads as follows:

“Not more than one-third of the area thereof shall be built upon”.

- 1.1.2 Condition V.6(d) which relates to “building line setbacks” and reads as follows:

“No building or structure or any portion thereof, except boundary walls and fences shall be erected nearer than 6.30 metres to the street line which forms a boundary of this erf nor within 3.15 metres of the rear or 1.57 metres of the lateral boundary common to any adjoining erf, provided that with the consent of the local authority, an outbuilding not exceeding 3.05 metres in height measured from the floor to the wall plate may be erected within the above prescribed rear space and within the above prescribed lateral space for a distance of 9.45 metres reckoned from the rear boundary. On consolidation of any two or more erven this condition shall apply to the consolidated area as one erf.”

1.2 In terms of Section 42(g) of the By-Law to **remove the following restrictive title deed conditions** in terms of Deed of Transfer

1.2.1 Condition VI.2. which relates to approval of plans and reads as follows:

“Drawings and specifications of all buildings and of any additions or alterations thereto to be erected on the property hereby conveyed shall be submitted to the transferor before the commencement of any building operations. No building operations, whatever shall be commenced on the property hereby transferred unless and until the Transferor shall have given its approval to the drawings, specifications and location pertaining thereto, and all buildings, additions or alterations shall be constructed in strict accordance with the drawings and specifications as approved”.

1.2.2 Condition VI.4. which relates to the roof material of buildings and reads as follows:

“The roofs of all buildings to be erected on the property hereby transferred, shall, except otherwise with the permission in writing of the Transferor, be covered with slates, thatch, tiles or shingles to be approved by the Transferor”.

1.3 In terms of Section 42(b) of the By-Law to permit the following **departures**:

1.3.1 Item 22(d) of the Development Management Scheme (‘DMS) to permit the planter (first storey) to be 1.39m in lieu of 3m from the south-western common boundary (with Erf 2353).

1.3.2 Item 22(d) of the DMS to permit the plant and store room to be 2.5m in lieu of 4.5m from the street boundary (Sunset Close).

1.4 In terms of Section 42(i) of the By-Law to permit the following **City Approval**:

1.4.1 Item 126(a) of the DMS to permit a portion of the proposed extension of the pool, on the first storey (ground floor) to be approximately 4m in height in lieu of 1.5m in height above the EGL.

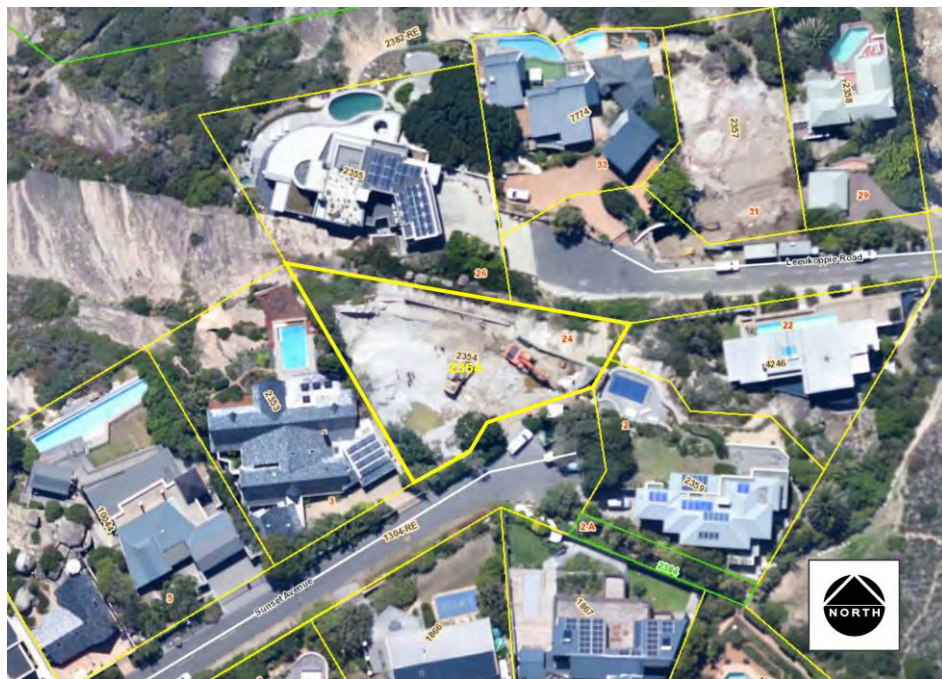
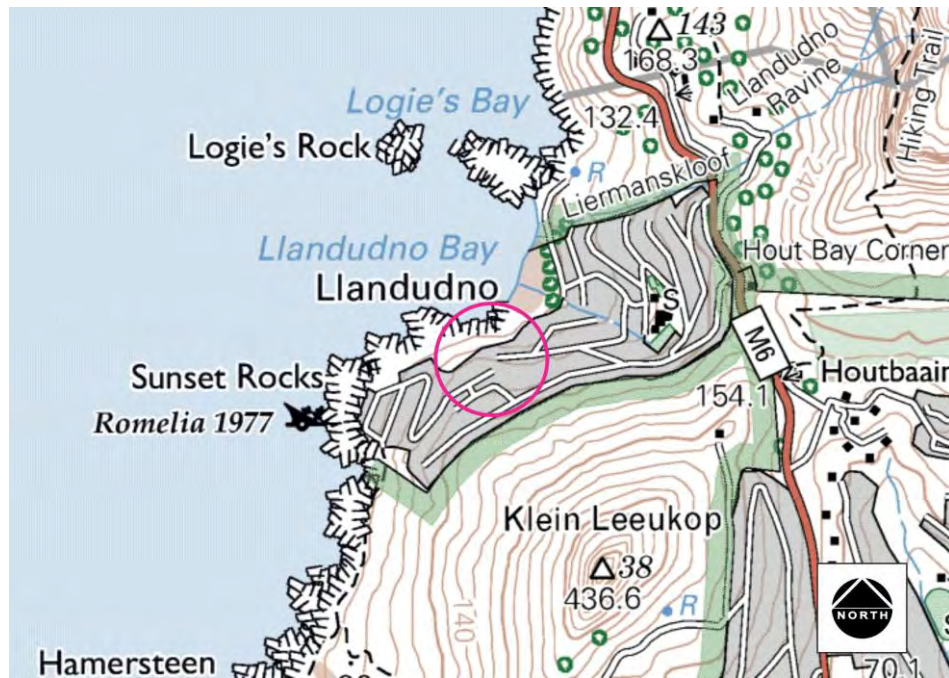
The following documents are submitted herewith:

- Power of Attorney, Company Resolution & CIPC report
- Certified copy of Deed of Transfer
- General Plan 1745 LD (Hout Bay Township Extension No. 12)
- Conveyancer certificate
- Copy of approved building plans
- Copy of proposed plans
- Record of pre-application consultation
- Application form

2 LOCALITY

The site is located between and at the ends of both Sunset Close and Leeukoppie Road, both of which are culs-de-sac. It is situated to the north-west of Sunset Close (on the sea side), and to the south of Leeukoppie Road. The site forms part of the Hout Bay Township (Ext. 12) which was established in 1958.

The locality map and the aerial photo of the property are below. The excavation of the property has commenced for the new dwelling house as per the approved building plans.

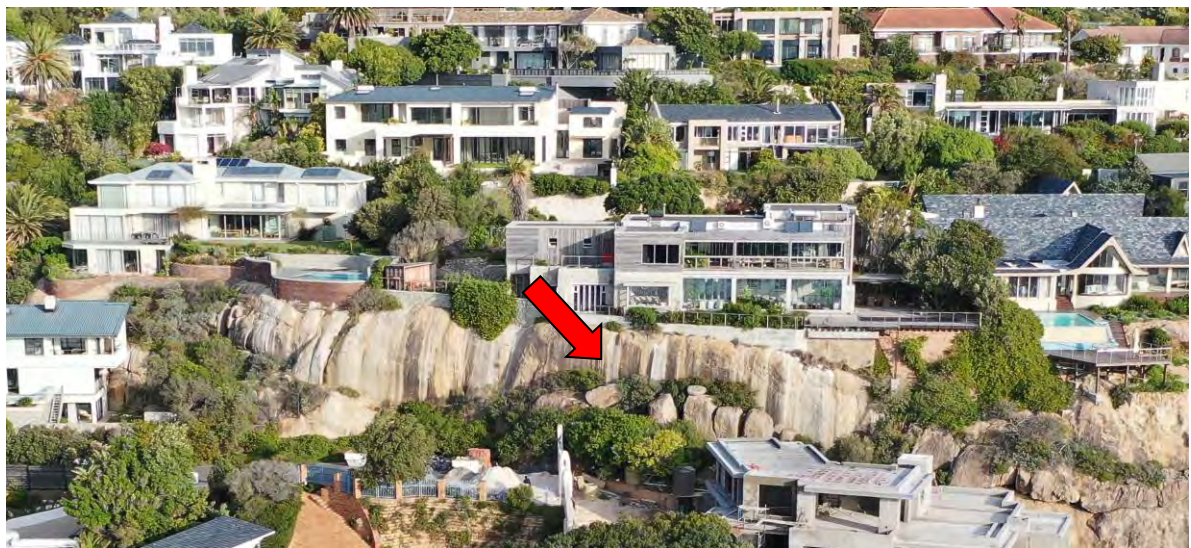


3 THE PROPERTY (SITE PARTICULARS)

The property measures **1345m²** in extent, and is registered in the name of _____, the sole director of which _____ has signed the Company Resolution and a Power of Attorney, appointing Mr Doug Gordon to act on behalf of the Company, and for the latter to signed the necessary documents appointing **Thomas Brian Brummer** to submit the application on the Company's behalf.

The property has a somewhat awkward triangular shape which poses certain challenges from a design point of view. The development of the site is further complicated by the fact that the erf abuts two street boundaries, and that the site primarily comprises of one large, solid granite rock.

The property has a high rock face onto Leeukoppie Road which renders any access from this street impossible (notwithstanding that the official address is 24 Leeukoppie Road). The only access possible to the site is from Sunset Close, on the southern side.



Northern view of the property. Note the extreme rock face adjoining Leeukoppie Road (identified by the arrow)

The previous dwelling has been demolished and the property is currently being excavated as part of the imminent construction of the new single dwelling house. Building plans, compliant with the DMS and the title deed, have been approved (Application number 1700504120 and approval number 0009118). A second set of deviation plans has also been submitted and was cleared by the Land Use Management Branch – also for alterations and additions to the first set of plans. This second set of plans is also compliant with the DMS and the title deed conditions.

With regard to the existing ground levels (EGLs), the above-mentioned two sets of building plans were approved/cleared by using the surveyed levels by **Bryan Hansen** from **David Hellig & Abrahamse Land Surveyors**. The Council has accepted these levels for the approval and

clearance of the DMS and title deed compliant building plans; however, going forward with the land use application, the 2m contours as per the Council's Ground Level Map (GLM) will be used.

4 TITLE DEED RESTRICTIONS

A title deed search has been undertaken by **Nicolette Joubert** from **Debra Gouws Attorneys** who certified that Erf 2354 is subject to conditions which were imposed on erven within the Hout Bay Township when this township was established. The conditions were imposed to prescribe the development potential of the erven given that no town planning scheme existed for Cape Town at the time.

With regard to the references to "lateral and rear" boundaries in the title deed and how this should apply to the configuration of the erf – especially with regard to its common boundaries, Council has advised that, in their opinion *"...there are two street boundaries and the rest of the boundaries are all lateral boundaries. In this instance there are no rear boundaries (the same occurs when there is a corner property)."* This means that a setback of 1.57m applies to the common boundaries.

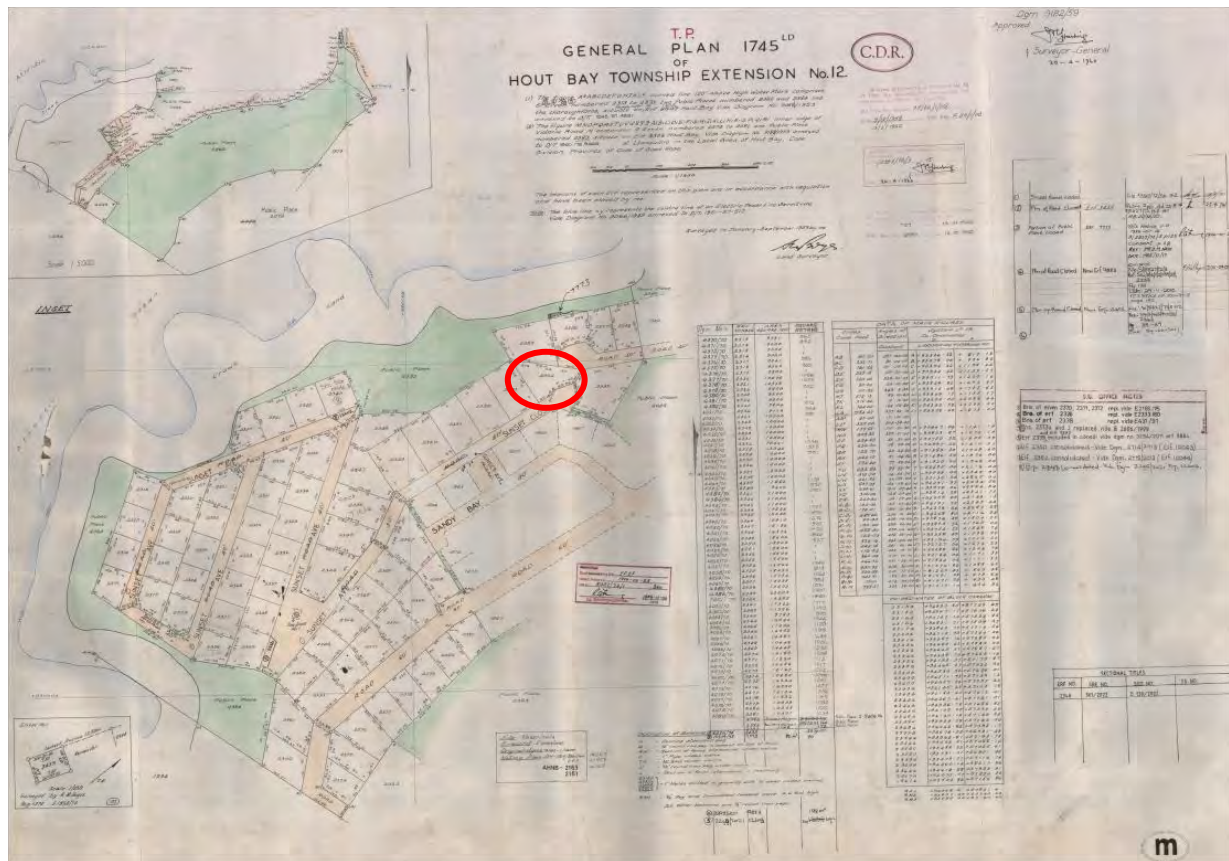
The relevant conditions affecting the proposal have been set out earlier in this report, and are proposed to be removed and deleted, as the case may be.

Conditions V were imposed by the Administrator to the benefit of all owners in the Hout Bay Township (ext. 12) and are deemed to be restrictive title deed conditions as well as conditions of previous approval. In terms of the Council's Standard Operating Procedures, these conditions are mandatory and must be removed and deleted in terms of Sections 42(g) & (j) of the By-Law.

In addition to the above, Conditions VI.2 and VI.4 were imposed in favour of **A D P Investments Limited** ("the Transferor") as the owner of the remaining extent of Hout Bay Township Extension No. 12 and "binding upon the Transferee and its successors-in-title. These have been identified as "developer's conditions" and the proposed removal of them is "voluntary" (it is considered prudent to remove these two conditions as well notwithstanding the fact that the Council will not enforce them). This proposed removal is in terms of Section 42(g) of the By-Law. It is noted that a Windeed search for the above-mentioned Company (ADP Investments Limited) has not yielded any results and it appears that this company no longer exists (refer to Windeed extract below).

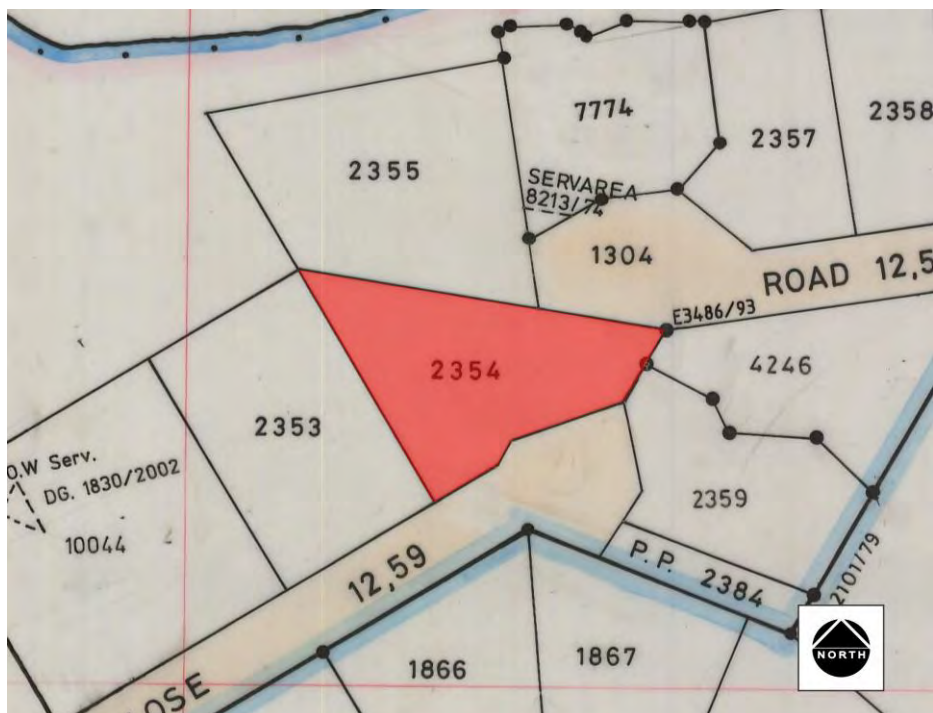
Company		NEW		REFINE		PRINT	
A D P INVESTMENTS LIMITED							
Search Criteria							
Search Date	2024/12/17 15:58	Reference	11235				
Company Name	A D P Investments Limited	Information Source	COMPANIES AND INTELLECTUAL PROPERTY COMMISSION				
Company Name Search Type	Contains words starting with						
THERE IS NO INFORMATION AVAILABLE THAT MATCHES YOUR SEARCH CRITERIA.							

The extent of the Hout Bay Township Extension No. 12 is demonstrated in the extract of the general plan below.



General Plan of Hout Bay Township Ext. No. 12

The noting sheet, as obtained from the Surveyor-General's office, is attached below.



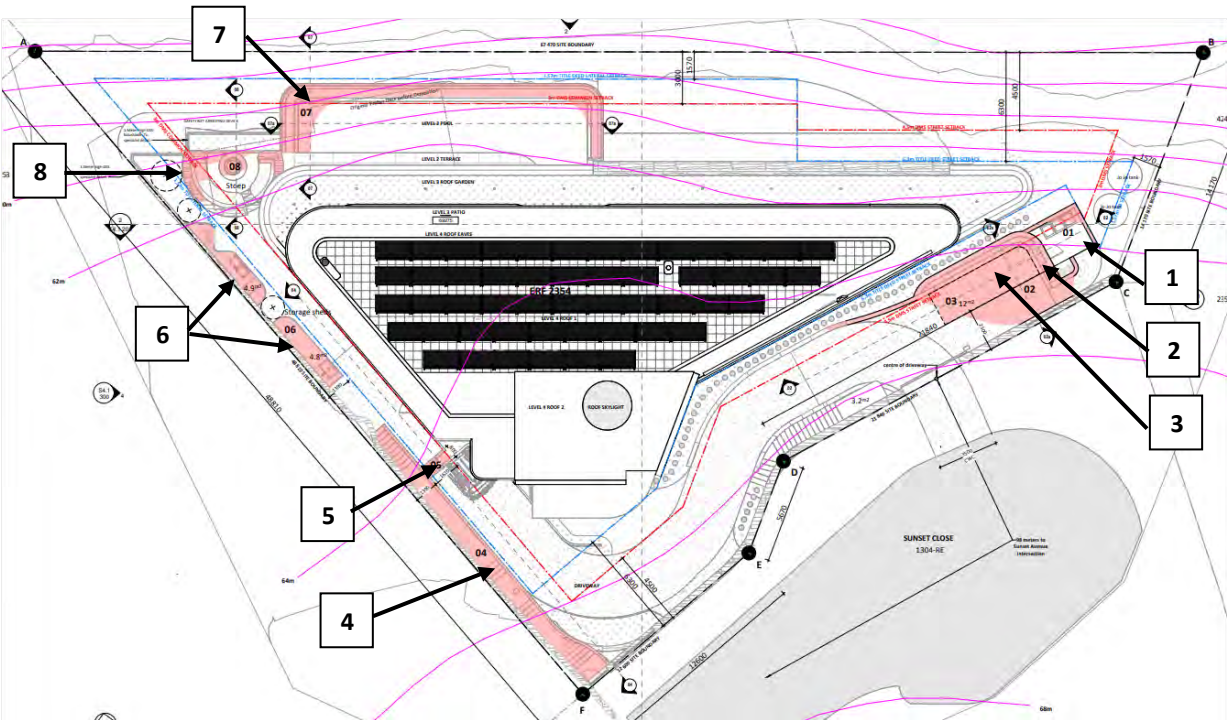
5 ZONING

Erf 2354 is zoned Single Residential **SR1** according to the Council’s zoning map viewer. A dwelling house is a primary use in this zoning (as proposed).



6 THE PROPOSAL

The proposal is for relative minor alterations and additions (“alts and adds”) to the approved single dwelling house (comprising only two storeys and a basement), as explained below. All the proposed alts and adds are located on the first storey (ground floor) which means that the proposed land use applications (in particular the departures and Council’s approval) are contained to the ground floor only. The affected portions of the building are indicated in colour on the proposed plans and numbered for ease of reference, identification and understanding. These are briefly explained below.



- Nr. 1: Bin storage, gas and Jo-Jo tanks:

These structures are uncovered, and are permitted within the building lines in terms of the DMS and complies as indicated on the plans. These structures do however require the removal and deletion of the relevant title deed conditions (building lines & built upon).

- Nr. 2: Driveway & supporting/retaining structure:

These structures are permitted within the building lines in terms of the DMS and complies. The boundary wall is permitted within the title deed building line. The driveway slab/structure and the immediate supporting/retaining walls (which also forms the external walls for the storage/plant room immediately below the drive-way – see below), and which also provides structural support for the drive-way (which snakes downwards from the Sunset Close street level to the basement parking area) require the removal and deletion of the relevant title deed conditions (building line & built upon).

- Nr. 3: Services plant room & storage (below driveway):

These structures are below the drive-way and, although separate from the main building, effectively form part of the first storey. This room is an “outbuilding” and requires a street boundary building line departure in terms of the DMS. It also requires the removal and deletion of the relevant title deed conditions (building lines & built upon).

- Nr. 4: Entrance steps and landings:

These “entrance steps and landings” are constructed on the ground and are permitted in terms of Item 121 of the DMS. Since these are “structures or portions thereof” it requires the removal and deletion of the relevant title deed condition (building lines).

- Nr. 5: Planter:

This planter (as “flower box”) is on the first storey and not raised by more than 1.5m above the EGL (refer to relevant section); in fact, it is situated below the EGL. It is part of the landscaping of the garden and entrance to the building. Since it is 800mm in width (500mm width is permitted within a building line) it is considered prudent to apply for a common boundary building line departure from the south-west boundary (with Erf 2353). Since it is a “structure or portion thereof” and requires the removal and deletion of the relevant title deed conditions (building lines).

- Nr. 6: External joinery (“storage sheds”):

The “built-in joinery” cupboards are effectively “storage sheds” as permitted in terms of Item 121 of the DMS to be within the building line. They are however “structures or portions thereof” and require the removal and deletion of the relevant title deed conditions (building lines).

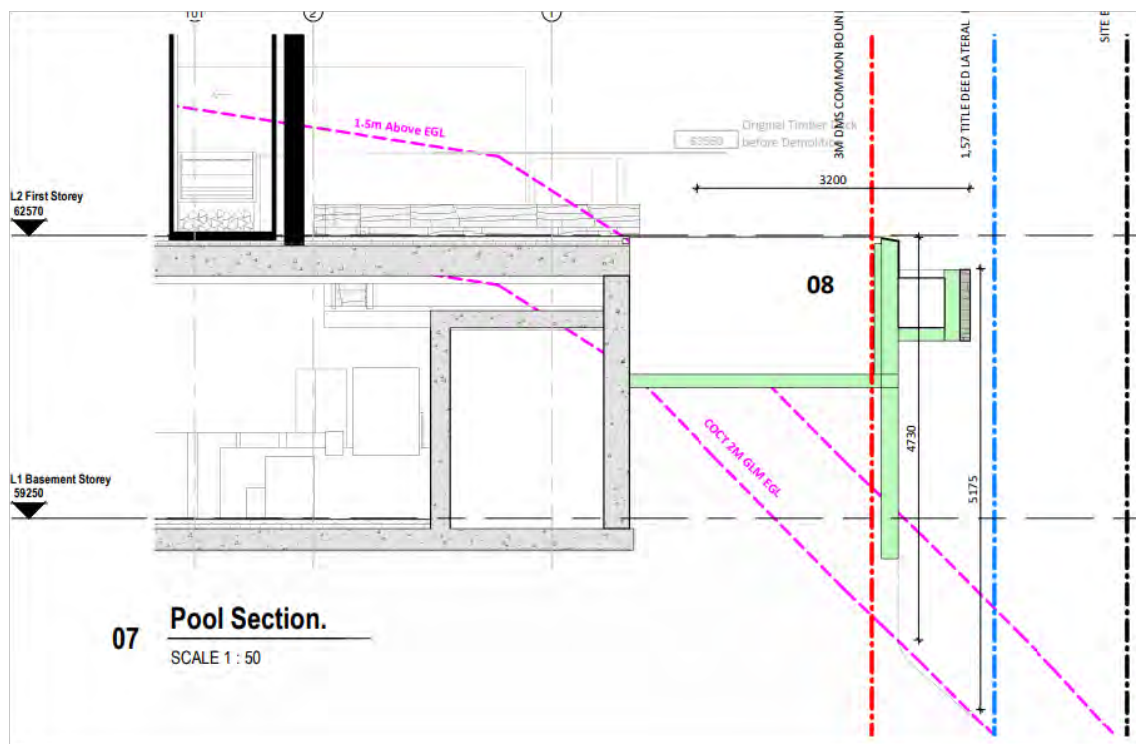
- Nr. 7: Pool:

The proposal is for an extension of the approved pool in this location, into a western direction. The pool complies with the building lines as permitted in terms of Item 121. However, due to the drop in the EGL in relation to the height of the proposed extension, the western-most portion thereof is raised more than 1.5m above the EGL (it is approximately 4.7m & 5.1m above the EGL – refer to sections below) and this requires Council’s approval. The pool

extension is more than 1m above the EGL and thus triggers the “built-upon” title deed condition (which is to be removed and deleted).



A long section through the proposed pool extension



A short section through the proposed pool extension (note the dramatic drop in the EGL in relation to the pool; the EGL in this instance is in fact the existing, sheer rock face)

- **Nr. 8: Fire pit:**

The fire pit (a built-in seating area with fire pit in the center) is effective part of a the “stoep” per definition (i.e. “*an uncovered paved area...outside and immediately adjoining a building at or below the level of the ground floor...*”). Since a “stoep” is permitted within the building lines (Item 121 – DMS) it is not considered necessary for a departure to permit the “fire pit” and immediate area. It is permitted within the building lines in terms of Item 121. It complies with the 1.57m lateral building line condition in the title deed.

Floor space:

The maximum permissible floor space is 1500m². The proposed floor space of 1180m² is compliant (the proposed alts and adds in fact do not contribute any additional floor space than what is already approved).

Built Upon:

Condition V.6(c) of the title deed prescribes that *“Not more than one-third of the area thereof shall be built upon”*.

The total permitted built-upon is approximately 448m² (33.33%), whereas the proposed built upon is approximately 540m² (approximately 40%). This requires the removal/deletion of the title deed condition (the relevant motivation will be provided further below, but suffice to say that this proposed removal/deletion is deemed appropriate as the purpose thereof has long since been lost as a result of the change in the Township character over many years).

Height:

Height in Llandudno is determined by the Llandudno Local Overlay Zone (Item 184(3) of the DMS) which states that, for the purposes of determining EGL for determining the height limitation in sub-section (3) – see below, the topographical maps issued in 1981 will be used. This effectively limits height of any building or structure to 8m above any point of the EGL as per this map.

(3) No part of any building or structure on a property zoned Single Residential Zoning 1 (SR1) shall be built higher than 8 m above any point on the existing ground level, as determined in sub-item (2).

The proposed building complies with the permitted 8m height above the 1981 topo map and there is thus no height departure.

The portion of the proposed pool extension which raises a portion of the ground floor by more than 1.5m above the EGL has been explained above.

Street boundary building line:

In terms of the DMS, the street boundary building line is 4.5m, whereas this building line setback in the title deed is 6.3m.

The nature of the proposed structures within the building lines have been set out above, and where applicable, it was indicated where **departures** and/or **the removal and deletion of the title deed condition** is required.

Common boundary building line:

In terms of the DMS, the prescribed setbacks from the common boundaries are 3m and the compliant nature, or otherwise, have been set out above.

The title deed carries a 1.57m lateral (common) building line and since the proposed alts and adds are “structures or portions thereof” the removal and deletion of this condition is required.

Access & parking:

Vehicular access will be taken from Sunset Close as per the approved building plans. The approved access point and carriageway crossing will not be affected by the proposed alteration to the drive-way (it is the proposed retaining walls supporting the drive-way which require planning permission, and not the drive-way itself).

6 ADJUDICATION CRITERIA

Section 48(4) of the By-Law states that the Council must have regard to Section 99 of the By-Law, as well as Sections 39(5) and 59 of the Western Cape Land Use Planning Act 3 of 2014 ("LUPA") and Sections 7 and 47 of the Spatial Planning and Land Use Management Act 16 of 2013 ("SPLUMA") when considering the proposal.

6.1 Title Deed Restrictions

The removal and deletion of the title deed conditions relate specifically to the "built-upon" and "building lines" conditions (requiring a mandatory removal and deletion). However, two "developer's condition" are also proposed to be removed on a voluntary basis.

When Hout Bay Extension 12 Township was created in 1959, the Administrator of the Cape (in terms of the Townships Ordinance 33 of 1934) and the developer imposed numerous conditions which were inserted as title deed restrictions.

At the time zoning schemes had not yet been introduced in Cape Town and title deed restrictions were the common method used to achieve a particular look and feel of an area, in order to set the development parameters and uses permitted on the erf. These conditions, when read together, created a particular low density, single dwelling residential character, with relatively large forecourt gardens.

Subsequent to the creation of Township, zoning schemes were established to regulate land use development and character within Cape Town. Furthermore, with the creation of the City of Cape Town, development and spatial policies were created to guide spatial transformation of the City going forward, which included residential densification and urban design/character. These changes promote a different development form to those as were originally set out in the title deeds.

6.2 Section 39(5) of LUPA

- (a) the financial or other value of the rights in terms of the restrictive condition enjoyed by a person or entity, irrespective of whether these rights are personal or vest in the person as the owner of a dominant tenement;

It is unlikely that the restrictions relating to the "built-upon" and "building lines" currently add any particular financial value to the owners of properties within this Township Extension. These conditions relate *primarily* to the spaces around the building or the ratio of building's footprint to the erf size. Similarly, it is not believed that the two developer's conditions relating to the specific roof materials to be used (which does not include the use of a concrete roof), as well as that the proposed plans must first be submitted to the "transferor" (or successors-in-title), hold any financial value for the holders of the rights at all. The proposed building will be entirely consistent and in character with the other dwelling houses in Llandudno (including in Extension No. 12), and it does not appear as if the original Company which imposed these two conditions, exist any more.

These conditions were imposed more than six decades ago. Since then, urban environments, town planning (approaches and thinking), and personal *perceptions* of “what represents a good and quality environment”, have changed dramatically. The financial values attached to properties and title deed conditions in the 1950’s are significantly different – for various reasons, than the financial values attached to properties and restrictions today.

It is submitted that the **financial** values attached to properties nowadays are more related to aspects/properties such as modern architecture and quality designed houses to ensure the up-marked appearance and character of the neighbourhood, whilst ensuring that these high-quality dwellings remain sensitive and sympathetic to the surrounding built and natural environments. The proposed development is entirely in keeping with the luxurious nature and appearance of the surrounding properties which will ensure a zero negative impact on the financial values of the holders of these rights.

The removal and deletion of the relevant restrictions will enable the more efficient utilisation of the property which respects the established built and natural environments. Many similar applications have been approved by the Council (and formerly by the Department of Environmental Affairs and Development Planning) in Llandudno over many years without any apparent negative impact on the financial or property values. On the contrary, property values and prices have been consistently higher over the years.

From the aerial photograph attached under the following section, there appears to already be a number of buildings that have been developed closer to the boundaries, and over the “one third” built upon area, than stipulated in the title deed. This has been achieved without negatively affecting the property values, privacy or light in the area.

The proposal is in character with the surrounding built environment, and this fact means that the financial values of the beneficiaries of the holders of these rights will be protected

(b) the personal benefits which accrue to the holder of rights in terms of the restrictive condition;

We are of the opinion that the relevant conditions do not hold any material **personal** benefits for the holders of the rights. Whilst a case can be made out that larger spaces around a dwelling may be perceived as having a positive impact on the holders of the rights (from a “feeling of space” point of view), an equally strong case can be made out that a large, difficult-to-maintain (especially during periods of droughts) garden or property can quite easily be unsightly, undesirable and potentially unsafe. Such a property could have a materially negative impact on “personal benefits”. As stated in the previous section, it is also not believed that there are any personal benefits to the holders of the rights in continue to preclude the use of concrete as a roof material, or that the “drawings and specifications of all buildings” be presented to the successors-in-title (of the Company).

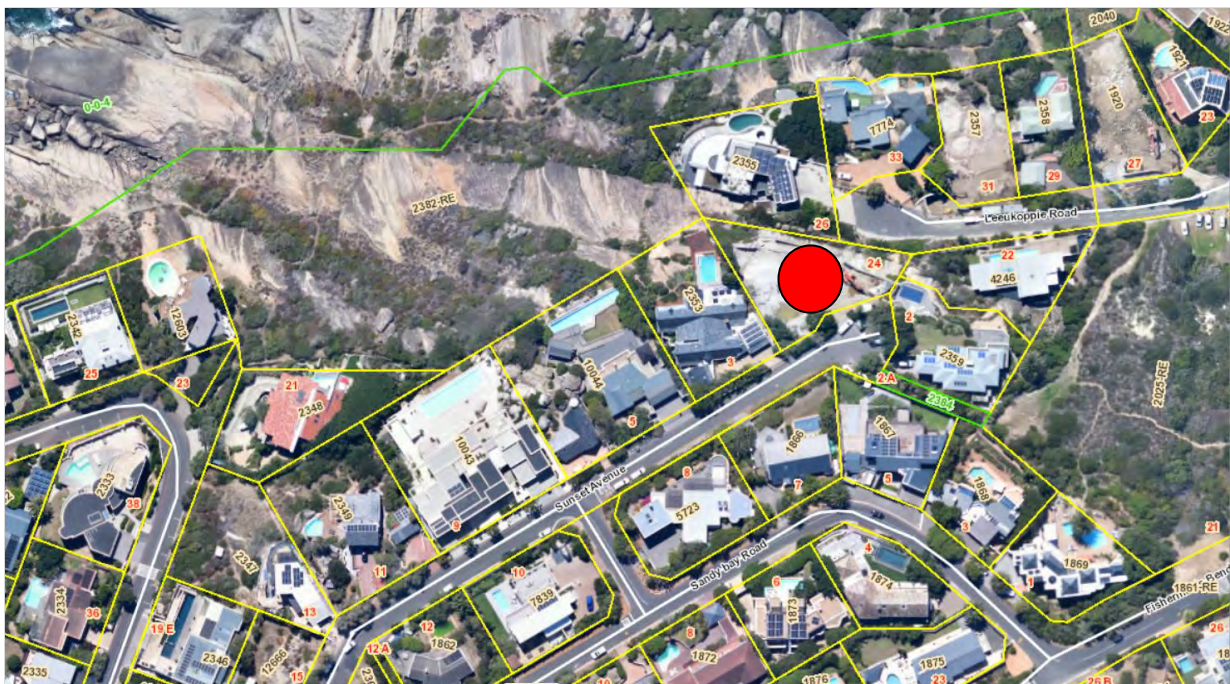
As mentioned, the restrictions stem from more than 60 years ago. The modern method to regulate developments is by means of the DMS’s development rules, and in this instance it is noted that the DMS does not have any limitation on “coverage” (or anything relating to “built upon”).

The new single dwelling house (to be constructed) has been approved in terms of approved building plans (with further alts and adds recently cleared by the Planning Department by means of deviation plans). These approved and cleared plans establish, primarily, the massing and footprint of the proposed building. The proposed removal and deletion of the restrictions relate to relatively minor portions of the proposed building e.g. retaining walls, a pool extension, the fire pit (stoep) area, pedestrian walkways etc. All of these structures are situated on the first storey and are uncovered.

They therefore do not contribute in any material way to the perceived “massing” or scale of the house, and as a result, it is not believed that the proposal will have any negative impact on the personal benefits of the holders of the rights.

The personal benefits therefore appear to relate to an effort to retain the character of an especially low-density residential suburb with buildings setback from the street and common boundaries in order to create the appearance of gardens and forecourts abutting the streets. It is worth noting that all of the properties in the Township have remained residential in nature. Practically all the erven have been developed with structures closer than 1.57m from the common boundaries and closer than 6.3m from the street boundaries. A large number of properties have been improved in excess of the permitted one-third built-upon area (given the extra-ordinary high land values in this suburb it does not make financial or logical sense to only be able to utilise 448m² of the erf area, which measures 1345m²).

The proposed removal/deletion of these conditions will therefore be entirely consistent with the general development and appearance of the township extension.



The owners in whose favour the conditions are registered would personally benefit by retaining the *status quo* of the township as one dwelling only; however, this would prevent the incremental and sensitive densification of the Township which is encouraged in terms of forward planning policy and the DMS. This, together with the fact that most (if not all) of the other properties in the township already appear to encroach these title deed building lines can be taken that there would be no personal benefit to these conditions remaining in place.

- (c) the personal benefits which will accrue to the person seeking the removal, suspension or amendment of the restrictive condition if it is removed, suspended or amended;

Granting the application will enable the property to be developed to be more in line with its existing rights (specifically with regard to the DMS), and thus more efficiently. The approval of the proposal will have a significant personal benefit for the owner of the land and will optimise his investment.

- (d) the social benefit of the restrictive condition remaining in place in its existing form;

It is our opinion that there will be no social benefits should the restriction remain in place. A “social benefit” implies the wider public, or society as a whole. Accordingly, there is no apparent benefit to society if these restrictive conditions are retained, especially since many, if not all, the properties in this township extension have been developed over the building lines and/or built-upon already. It is not believed that society will gain anything if these conditions remain in place.

On the contrary, and for reasons given in this report, if the conditions are not removed the area will lose the opportunity of being developed to its full extent and the available infrastructure will also not be utilised as efficiently as it could – or should be.

- (e) the social benefit of the removal, suspension or amendment of the restrictive condition; and

The removal and deletion of the relevant restrictions will have a positive social benefit given that it will enable a desirable development within an existing urban area, which is in character with the surrounding built environment, sensitive to the natural environment, and which makes the most out of the relatively difficult site (given its awkward shape and rocky nature).

The development of the site will create a large number of much-needed employment opportunities during the construction and completion phases of the building, as well as after completion (with reference to house staff that will be employed). This is considered in the interest of the social needs of the community of Cape Town.

- (f) whether the removal, suspension or amendment of the restrictive condition will completely remove all rights enjoyed by the beneficiary or only some of those rights.

The deletion of the restrictions will not remove all rights enjoyed by beneficiaries as the property as some of the title deed conditions will be retained (e.g. the “one dwelling only” and “no subdivision” restrictions). Any further development will remain to be controlled in terms of the DMS.

6.3 Section 47 of SPLUMA

The title deed conditions that are to be removed do not constitute servitudes or contractual rights. It is a limitation on the use of land imposed in the public interest. Neighbouring owners have an interest in the restrictions, but the restrictions do not vest in them with any private rights to property within the meaning of Section 25 of the Constitution.

In addition, Section 25(1) of the Constitution permits the deprivation of property rights provided that it is done in terms of a law of general application and is not arbitrary. The proposed removal and deletion are specifically permitted and regulated by laws of general application being Section 47 of SPLUMA, Section 39 of LUPA, and Section 42 of the By-Law. It follows that the proposed removal and deletion is constitutional as long as it complies with applicable legislation.

The proposed removal and deletion further does not entitle neighbouring owners to compensation under Section 25, due to the fact that Section 47(3) of the SPLUMA specifically precludes any award of compensation as follows: “A *Municipal Planning Tribunal considering an application to remove, amend*

or suspend a restrictive condition is not liable to compensate any person for any loss arising from or related to a decision made in good faith and in terms of this Act to remove, amend or suspend a restrictive condition.”

6.4 Section 59 of LUPA & Section 7 of SPLUMA

- ❖ The proposal represents a form of incremental densification and intensification of land use within the urban area. To a degree, it will therefore help to limit urban sprawl and to create a more spatially compact city which is within fiscal, institutional and administrative means. This is consistent with the principle of social sustainability.
- ❖ The above will help to protect prime agricultural land on the outskirts of the city, and will have a positive impact on the environment. This is consistent with the principle of environmental sustainability.
- ❖ The proposal promotes land development in a location which forms part of an existing urban area and will optimise the use of available land (an increasingly scarce resource).
- ❖ The proposal will optimise the use of existing infrastructure, thereby curbing costs for the Council, developers and ultimately the general public. This is consistent with the principle of social efficiency.
- ❖ The creation of more compact cities through contextually appropriate densification, such as what is proposed, is consistent with the principles of social justice. The proposal will however not contribute to this principle from the viewpoint of providing affordable housing opportunities (which is not proposed).
- ❖ The optimal use of the property is considered to be consistent with the principle of spatial resilience.
- ❖ The proposal directly supports the Densification Policy and the principles of the TOD.

The approval of this proposal will minimise a potentially negative financial, social, economic and environmental impact

6.5 Section 99 Assessment

6.5.1 Motivation in terms of Section 99(1) of the By-Law

Section 99(1) of the By-Law states that an application must be refused if it fails to comply with certain minimum threshold requirements. The proposed development should not be refused as it complies with the minimum threshold requirements, as will be demonstrated below:

- (a) The proposed land use is **consistent with the MSDF** and no deviation from it is required. Llandudno falls in an “incremental growth and consolidation area” which is an area which supports incremental densification.
- (b) The principle of “granting the property the development rules of the next subzone within a zone” is not applicable.

6.5.2 Motivation in terms of Section 99(2) of the By-Law

The application complies with the following relevant considerations:

(a) Compliance with applicable spatial development frameworks

- The application is consistent with the **Provincial Spatial Development Framework (PSDF)** as it supports higher densities, more compact settlement footprints to minimise environmental impacts, reduce costs and time impacts of travel and to enhance financial sustainability with regard to the provision and maintenance of infrastructure, facilities and services.
- The application is consistent with the newly approved **MSDF** which supports incremental and “*progressively targeted intensification, densification and diversification*”, especially within an existing urban area, within the Urban Development Edge. The MSDF also serves to guide and manage urban growth at the hand of the more detailed District Spatial Development Plans. The subject property falls within the Incremental Growth and Consolidation Area. Properties falling within these areas should be prioritised for development, subject to capacity of bulk infrastructural services. Considering that the proposal is for only one dwelling house there should be no issue in terms of capacity constraints.
- The approved **Southern District Plan** is a tool to guide development within the area. The site falls within the “Hout Bay and Llandudno” Sub-District 1 which is an area which is with sensitive mountain and coastal environs which must be protected. Development within this sub-district must be aligned with available and adequate supporting infrastructure and services. With regard to the “spatial development objectives (what?)” for the Llandudno area in particular, the “supporting development guidelines (how and where?)”, the District Plan reads as follows:

“Retain as a residential area, but support improved beach access. This includes improved traffic management integrated with better public transport provision, and improved beach destination facilities. In recognition of the need for densification and also declining household sizes, some densification, particularly by means of small-scale, low impact subdivision or second / third dwellings, is encouraged”.

Whilst the proposal is not for either a subdivision or a second dwelling, but instead for a slightly larger footprint and to be closer to the boundaries, the proposal is still consistent with the Plan through the proposed intensification of land development.

The property is situated within the area designated for “urban development”, is behind (in-land) from the Coastal Edge and within the Urban Development Edge, and it not close to any “environmental corridor” or “biodiversity” area.



Extract of the Southern District Plan

- **Transit Oriented Development Strategic Framework (TOD):** Due to the particulars of the proposed development, namely one dwelling house, it is not believed that the principles of the TOD apply in this instance.

(b) Relevant Criteria in the DMS

The application complies with relevant criteria contemplated in the DMS, i.e. the proposal is desirable when assessed in terms of the adjudication criteria set in out Section 99, as will be seen in more detail below.

(c) Applicable Policies Approved by the City

The proposal complies with the following approved Council Policies:

- **Densification Policy:** The application is consistent in that it:
 - ❖ helps to establish a more compact city in a responsible and incremental manner,
 - ❖ improves the city's efficiency and sustainability – thereby containing urban sprawl,
 - ❖ protects the surrounding built and natural environment by being in character with the area and primarily respecting the development rules whilst not having any material impact on the surrounding streets, the area or on the neighbours.
- **Inclusive Economic Growth Strategy:** The proposal will directly support the Strategy by having a positive impact on the overall growth of the City's GDP (critical in comparison with the population growth). A large number of jobs will be provided during the construction stage, as well as the permanent staff employment after the completion of the building. The proposal is consistent with the Strategy by supporting and enhancing "inclusivity, competitiveness, connectivity, resilience, sustainability & collaboration".

(d) Desirability of the proposed use or development of land

- The proposal is considered desirable as it is consistent with the existing zoning of the property and all the surrounding SR1 zoned erven, as well as with the land uses (which are all for residential purposes).
- The proposal is considered to be an appropriate and sensitive form of densification and intensification of land use within an existing urban area and in character with the built environment.
- The proposal will optimise the use, general enjoyment of, and investment made by the owner, of the property, which is situated in a suburb with some of the highest land values in the country.
- The proposal will also ensure the more practical use of the property, e.g. the slightly larger pool, and the minor portions within the building lines.
- The proposal is considered desirable as the relevant title deed conditions restrict the optimal development potential of the property. These conditions were imposed more than 60 years ago when the township was substantially different and when the future vision of its development was also significantly different compared to how it evolved over time.
- The proposed dwelling complies with the permitted height with respect to the Llandudno Special Area Overlay Zone and there is no impact on height, or, by extension, any impact on views.
- The applications with regard to the pool extension are considered desirable in order to create a slightly larger pool for the use of the owner, but without having any external impact. The pool complies with the required setbacks for pools, and, was it not for the downward sloping nature of the EGL towards the west, the proposed pool extension would have been compliant in all respects.

(e) Impact on existing rights

- The property will still be subject to the development rules contained in the DMS and enforced by the processes of the By-Law. In this regard, the proposed departures are contained to the ground floor of the dwelling house and this, together with the overall steep terrain, will mitigate any potential impact on the surrounding neighbours and the street (it is not believed that there is any impact).
- The affected portions of the building are primarily uncovered structures (e.g. the planter, the storage sheds, the pool etc.), and, together with their comparatively low heights (on the first storey and below), they do not contribute to any material increase in the perceived “massing” or scale of the building.
- The proposed pool extension will not have any impact on the privacy of the abutting Erf 2355; not only is the pool compliant with the building lines, but this portion of the pool is at least 1.7m deep which means that no person can stand in the pool and look over and down towards this neighbour.

Furthermore, the proposed Council’s approval to permit the raising of the western-most portion of the pool more than 1.5m above the EGL will have no impact on the overall and

already approved height of the building. In other words, it will not result in the “raising” of the height of the approved building.

- The character of the Township, envisioned at the time when the title deed restrictions were imposed, has already changed and therefore the removal and deletion of these conditions are not believed to have any impact on the character of the area.

(f) Consolidation

Not applicable.

(g) Relevant National or Provincial Legislation

The applications comply with all other National and Provincial legislation.

6.5.3 Motivation in terms of Section 99(3) of the By-Law

The application complies with the following relevant considerations:

- **Socio-economic impact-**

The proposal will enable the more efficient utilisation of the property, an increasingly scarce and extremely expensive resource in the Llandudno suburb. The re-development of the property with a new, modern and ultra-luxurious single dwelling house – designed by an award-winning architectural firm, will have a positive impact on the investment made, and will also have a positive impact on the property values of the surrounding erven in particular and the area in general.

The bespoke design of the proposed dwelling will ensure that the owner will get optimal satisfaction and enjoyment from his property.

The proposal will create employment opportunities during and after construction which will have a positive economic impact on those parties involved. The more efficient utilisation of the erf will ensure a better return on the investment made by the owners of the land which is positive from his perspective.

Since the proposal is considered desirable and without any considered impact on existing rights of the surrounding property owners (including, perhaps most importantly, on views), it is also considered to have a positive socio-economic impact on the neighbouring properties.

The re-development of the property with a multi-million Rand dwelling will vastly improve the municipal valuation of the erf, and this will generate much-needed rates and taxes (income) for the Council.

- **Compatibility with surrounding uses and development of land**

The proposal is considered to be entirely compatible and in character with the surrounding uses and the built environment; all the surrounding land uses are for residential purposes and the properties have been improved with multi-storeyed dwelling houses. The area is an up-marked suburb characterised by – largely, luxurious dwellings, and the proposal will be no exception.

- It is not believed that there will be any negative impact on **external engineering services** as sufficient services exist; however, the application will be circulated to the Council's internal service branches for comments.
- There will be no impact on the **safety, health and wellbeing** of the surrounding community. The deletion of the title deed restrictions will not remove all the rights enjoyed by surrounding landowners (e.g. the "one dwelling only" and "no subdivision" conditions will remain), and the property will also still be subject to the development rules contained in the DMS.
- The property is not situated in a Heritage Protection Overlay Zone and it is currently vacant. There is thus no impact on **heritage**.
- There will be no negative impact on the **biophysical environment**; no trees are to be removed, for example. Besides, building plans have already been approved pertaining to the excavation of the rock, and the proposed alterations have no impact on this already-approved fact.
- There will be no impact on **traffic, parking and access**. The existing and approved access and parking will remain as it is and the proposal has no impact on this.
- With regard to whether the imposition of conditions can **mitigate** an adverse impact of the proposed land use, we hereby submit that the granting of the application will not impact negatively on the public or the surrounding property owners. Conditions are therefore not required, as there is no adverse impact to mitigate.

7 CONCLUSION

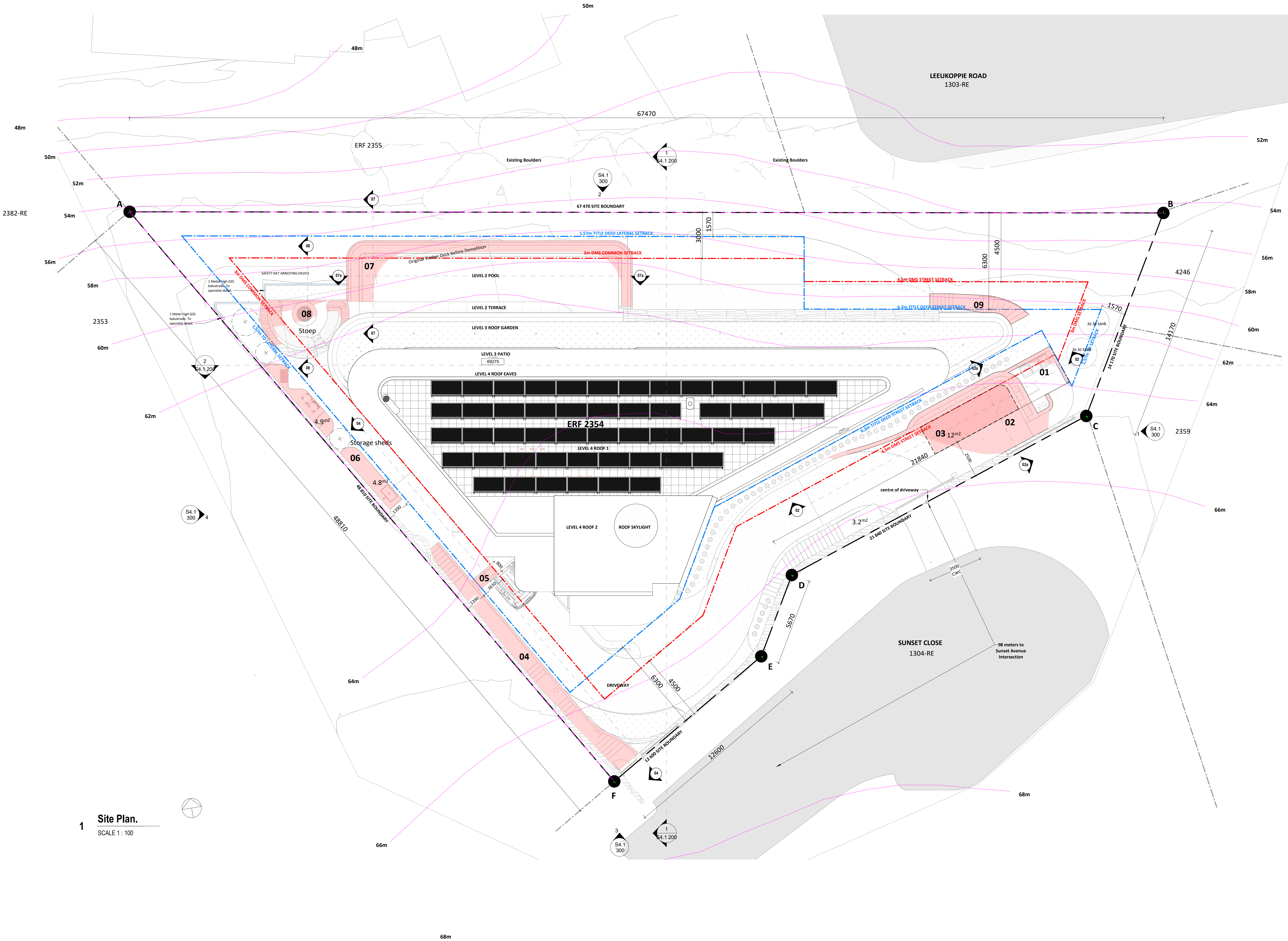
This report successfully demonstrates the *desirability* of the proposed departures and Council's approval, as well as the positive benefits of the removal and deletion of the relevant title deed conditions.

The proposed departures and Council's approval are considered to be minor with respect to its impacts, and in fact it is not believed that there will be any material impact on existing rights, views, privacy or other aspects such as over-shadowing.

The proposal is in character with regard to the surrounding built environment (as most of the other properties have been improved in contravention with the title deed conditions and the DMS), whilst the proposed alterations and additions are believed to be highly sensitive and sympathetic with regard to the natural environment.

The proposal is believed to be consistent and compliant with various statutory legislation, e.g. the PSDF, MSDF, the District Plan, and other approved Policies. The application is demonstrated as being *compliant* with the relevant adjudication criteria in SPLUMA, LUPA and Section 99 of the By-Law, and as such, Council is urged to **approve** it.

TOMMY BRÜMMER TOWN PLANNERS



1 Site Plan.
SCALE 1 : 100

SUMMARY OF ZONING		
Single Residential Zone 1	ERF Number: 2354	
Land Unit Area:	ERF Size: 1345m ²	
Floor Factor:	>1000 up to 2000	
Max Floor Space:	N/A	
Max Height from EGL:	1500m ²	
Boundary Line	Wall Plate	9m
	Top of Roof	11m
	Street	4.5m
Max Floor Space	Common	3m
	ALLOWED	1500m ²
	L1:	545m ²
	L2:	364m ²
ACHIEVED	L3:	271m ²
		1180m ²
BUILT UPON		
Site Area:	1345m ²	
Restriction:	One Third	
Allowed:	448m ²	
Achieved:	540m ²	

NOTES:
CONTOURS ARE AS PER SECTION 184 OF THE LLANDUDNO LOCAL AREA.
CONTOURS ARE DERIVED FROM THE DIVISIONAL COUNCIL OF THE CAPE TOPOGRAPHICAL MAPS ISSUED IN MAY 1981, SHEET 60648.
MECHANICAL VENTILATION & WET SERVICES TO ENGINEERS DETAIL & DESIGN
CONTOUR LEGEND:
COCT 2M GLM EGL: ————
1981 SURVEY: ————
SETBACKS LEGEND:
TITLE DEED: ————
DMS: ————

DEPARTURES	
No.	Description
01	Bin Storage, Gas & Jo Jo Tanks
02	Driveway & Retaining Structure
03	Services Plant & Storage
04	Entrance steps & Landings.
05	Planter
06	External Joinery (Storage Sheds)
07	Pool
08	Fire Pit (Stoop)
09	Side Access Stair Basement Level Balcony

NOTES:
The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work.
No assumptions should be made without reference to the architect.
No part of the construction may encroach the Erf boundary.
The design of this drawing is copyright and remains the property of the architect.
SUBSTITUTION: All Materials and Products specified can be substituted with an equivalent material or product with the approval of the architect.
EXISTING WORKS: All dimensions into existing works to be confirmed onsite.
EXTERNAL CAVITY WALLS: To be 280mm Brickwork Cavity walls tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork.
Wiresholes at maximum 1 meter center's, approx. every 3rd perpend.
DPC's to all external door and window openings. Glass wool insulation laid on ceiling.
INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
INTERNAL WALLS: 110mm Brickwork structural walls and partition walls as per NBR & SANS 10400.
Internal finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
UNTOOLS: APS precast lintols to be built over openings in brickwork exceeding 2.2m to manufacturer's spec with min 4 courses brickwork above lintol.
Lintols over openings wider than 3m to engineer's specifications.
CEILING: Ceilings painted 3 coats to later spec.
DPM: All DPM's to be of high quality and SABS approved and to be installed to manufacturer's spec.
FLOORS: Specified floor finish on 30mm screed on concrete surface bed to engineers spec. on min 250micron DPM on 30mm sand bedding on hardcore.
ROOF: All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part 1.
INTERNAL AND EXTERNAL STEPS: Riser and tread sizes to comply with SANS 10400 Part M Treads tiled to later detail.
HANDRAILS AND BALUSTRADES: To comply with SANS 10400 Part M. Firing details to structural engineer's specification.
Handrail and balustrade height to comply with SANS 10400 Part M.
All balustrades shall not contain any opening that will permit the passage of a 100mm Ø ball.
INTERNAL DOORS: Doors and frames to be sealed to later spec.
STORMWATER: Stormwater disposal to comply with SANS Part 8 LIGHT & VENTILATION: Naturally lit and ventilated dwelling to comply with SANS Part O. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.
PAINT COLOURS: To conform with any colours required by Municipality Guidelines where applicable.
FOUNDATIONS: All foundations & retaining walls to engineers detail.
CONCRETE WORK: All slabs retaining walls & foundations to engineers detail.
PLUMBING AND DRAINAGE:
1. all drainage to comply with SANS 10400 section p
2. all drainage to comply with local authority bye-laws
3. all traps to have 75mm deep seal
4. all waste pipes to be 40mm dia upvc unless otherwise shown
5. all bends to be 600mm radius slow bends
6. all waste fittings to have anti-vacuum traps
7. soil pipes below building to be encased in 300mm concrete
8. no portion of any drain is to carry load
Plumbing items and drainage to comply with SABS Part P
GLAZING: Glazing to comply with SANS 10400 Part H and SANS 10137. Safety glazing required in bath enclosure or glazed shower cubicle or where glazing occurs immediately above and within a distance of 1800mm horizontally or vertically from a bath or shower. All glazing thickness and safety glazing to be in accordance with SANS 10400 Part N. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.
ARCHITECT SIGNATURE:
SALA: 0939
SACAP: 6452
PRACTICE: PB 340358
CLIENT SIGNATURE:
The following building elements to comply with the detailed requirements of SANS legislation 10400:
ROOFS AND WATERPROOFING: SANS 10400 - L
FLOORS: SANS 10400 - T
WALLS: SANS 10400 - T / 10400 - K
STAIRWAYS: SANS 10400 - B / 10400 - T / 10400 - N / 10400 - K
GLAZING: SANS 10400 - B / 10400 - H
LIGHTING: SANS 10400 - T / 10400 - O
DRAINAGE: SANS 10400 - P
STORMWATER: SANS 10400 - R
DISABLED: SANS 10400 - S
FIRE: SANS 10400 - V
XA ENERGY: SANS 10400 - XA / SANS 204



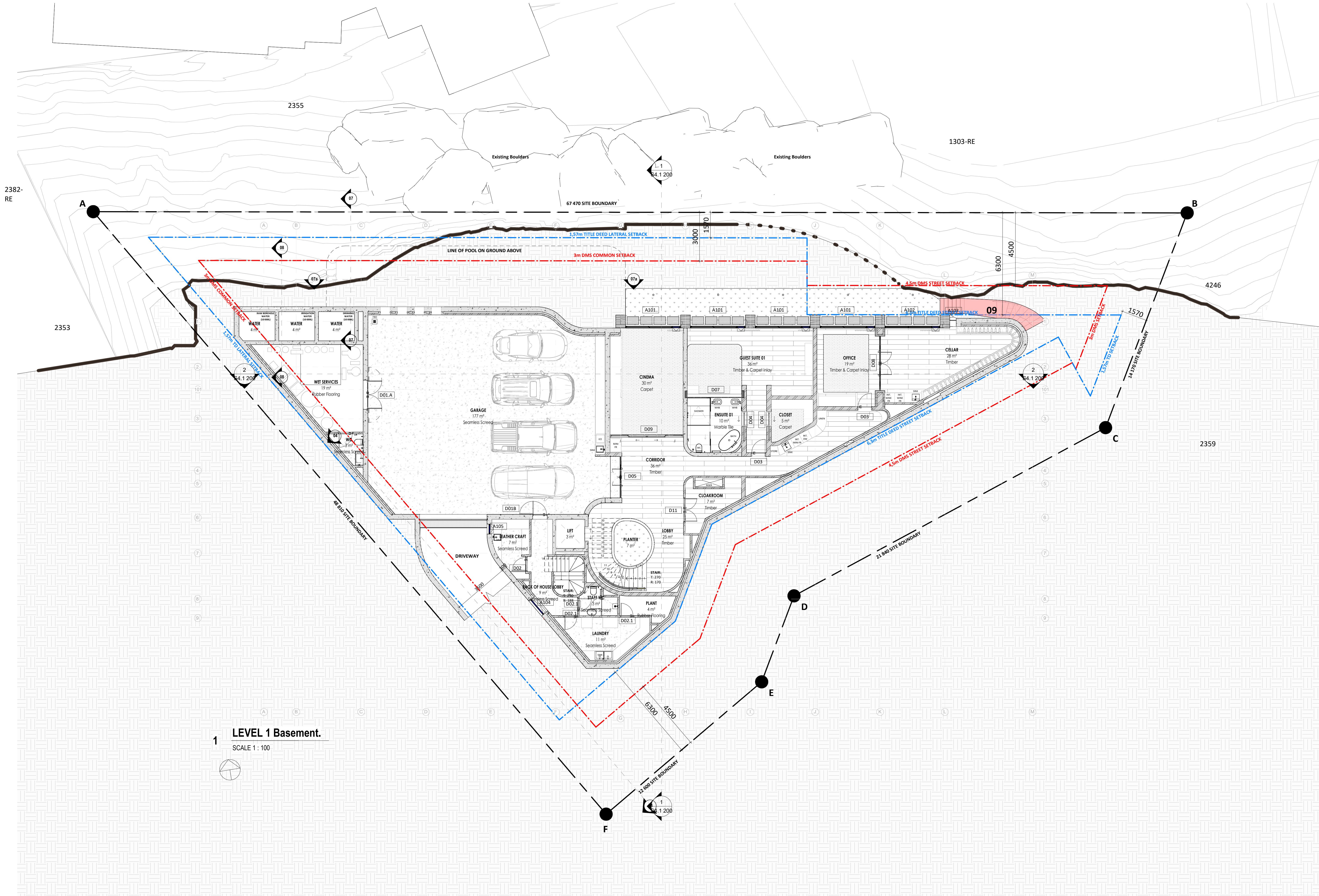
COUNCIL

Project: Sunset Avenue

Drawing: Council - Site Plan

Client:

Erf No.:	Address:
2354	1 Sunset Close, Llandudno
Drawing No.:	Date:
S4.1 100.	2025/05/05 20:47:17
Drawn By:	Scale:
BK	As indicated
Rev.:	0



SUMMARY OF ZONING		
Single Residential Zone 1	ERF Number: 2354	
Land Unit Area:	ERF Size: 1345m ²	
Floor Factor:	>1000 up to 2000	
Max Floor Spec:	N/A	
Max Height from EGL:	1500m ²	
Boundary Line	Wall Plate	9m
	Top of Roof	11m
	Street	4.5m
	Common	3m
Max Floor Space	ALLOWED	1500m ²
	L1:	545m ²
	L2:	364m ²
	L3:	271m ²
ACHIEVED		
1180m ²		
BUILT UPON		
Site Area:	1345m ²	
Restriction:	One Third	
Allowed:	448m ²	
Achieved:	540m ²	

NOTES:

CONTOURS ARE AS PER SECTION 184 OF THE LLANDUDNO LOCAL AREA.

CONTOURS ARE DERIVED FROM THE DIVISIONAL COUNCIL OF THE CAPE TOPOGRAPHICAL MAPS ISSUED IN MAY 1981, SHEET 60648.

MECHANICAL VENTILATION & WET SERVICES TO ENGINEERS DETAIL & DESIGN

CONTOUR LEGEND:

DOCT 2M GLM EGL: ————

1981 SURVEY: ————

SETBACKS LEGEND:

TITLE DEED: ————

DMS: - - - - -

DEPARTURES	
No.	Description
01	Bin Storage, Gas & Jo Jo Tanks
02	Driveway & Retaining Structure
03	Services Plant & Storage
04	Entrance steps & Landings.
05	Planter
06	External Joinery (Storage Sheds)
07	Pool
08	Fire Pit (Stoop)
09	Side Access Stair Basement Level Balcony

Revision	Date	By
LUM Submission	2025/05/05	05

NOTES:

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No part of the construction may encroach the Erf boundary.

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SUBSTITUTION: All Materials and Products specified can be substituted with an equivalent material or product with architects approval - unless stated otherwise.

EXISTING WORKS: All dimensions into existing works to be confirmed onsite.

EXTERNAL CAVITY WALLS: To be 280mm Brickwork Cavity walls tied with butterfly DMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork.

WIREPHOTOS: at minimum 1 meter center's, approx. every 3rd perpend.

DPMs: To all external door and window openings. Glass wool insulation laid on ceiling.

INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

INTERNAL WALLS: 100mm Brickwork structural walls and partition walls as per NBR & SANS 10400.

INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

UNTOOLS: APS precast lintols to be built over openings in brickwork exceeding 2.2m to manufacturer's spec with min 4 courses brickwork above lintol.

CEILING: Lintols over openings wider than 3m to engineer's specifications.

CEILING: Ceilings painted 3 coats to later spec.

DPM: All DPM's to be of high quality and SABS approved and to be installed to manufacturer's spec.

FLOORS: Specified floor finish on 30mm screed on concrete surface bed to engineers spec. on min 250micron DPM on 30mm sand bedding on hardcore.

ROOF: All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L.

INTERNAL AND EXTERNAL STEPS: Riser and tread sizes to comply with SANS 10400 Part M Treads tiled to later detail.

HANDRAILS AND BALUSTRADES: To comply with SANS 10400 Part M. Filing details to structural engineer's specification.

Handrail and balustrade height to comply with SANS 10400 Part M.

All balustrades shall not contain any opening that will permit the passage of a 100mm Ø ball.

INTERNAL DOORS: Doors and frames to be sealed to later spec.

STORMWATER: Stormwater disposed to comply with SABS Part 8.

LIGHT & VENTILATION: Naturally lit and ventilated dwelling to comply with SABS Part O. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

PAINT COLOURS: To conform with any colours required by Municipality Guidelines where applicable.

FOUNDATIONS: All foundations & retaining walls to engineers detail.

CONCRETE WORK: All slabs retaining walls & foundations to engineers detail.

PLUMBING AND DRAINAGE:

1. all drainage to comply with SANS 10400 section p
2. all drainage to comply with local authority bye-laws
3. all traps to have 75mm deep seal
4. all waste pipes to be 40mm dia upvc unless otherwise shown
5. all bends to be 600mm radius slow bends
6. all waste fittings to have anti-vacuum traps
7. soil pipes below building to be encased in 300mm concrete
8. no portion of any drain is to carry load

Plumbing items and drainage to comply with SABS Part P.

GLAZING: Glazing to comply with SANS 10400 Part H and SANS 10137. Safety glazing required in bath enclosure or glazed shower cubicle or where glazing occurs immediately above and within a distance of 1800mm horizontally or vertically from a bath or shower. All glazing thickness and safety glazing to be in accordance with SANS 10400 Part N. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.

ARCHITECT SIGNATURE:

SALA: B939

SACAP: 6452

PRACTICE: PB 340358

CLIENT SIGNATURE:

The following building elements to comply with the detailed requirements of SANS legislation 10400:

ROOFS AND WATERPROOFING: SANS 10400 - L

FLOORS: SANS 10400 - T

WALLS: SANS 10400 - T / 10400 - K

STAIRWAYS: SANS 10400 - B / 10400 - T / 10400 - N / 10400 - K

GLAZING: SANS 10400 - B / 10400 - H

LIGHTING: SANS 10400 - T / 10400 - O

DRAINAGE: SANS 10400 - P

STORMWATER: SANS 10400 - R

DISABLED: SANS 10400 - S

FIRE: SANS 10400 - V

XA ENERGY: SANS 10400 - XA / SANS 204



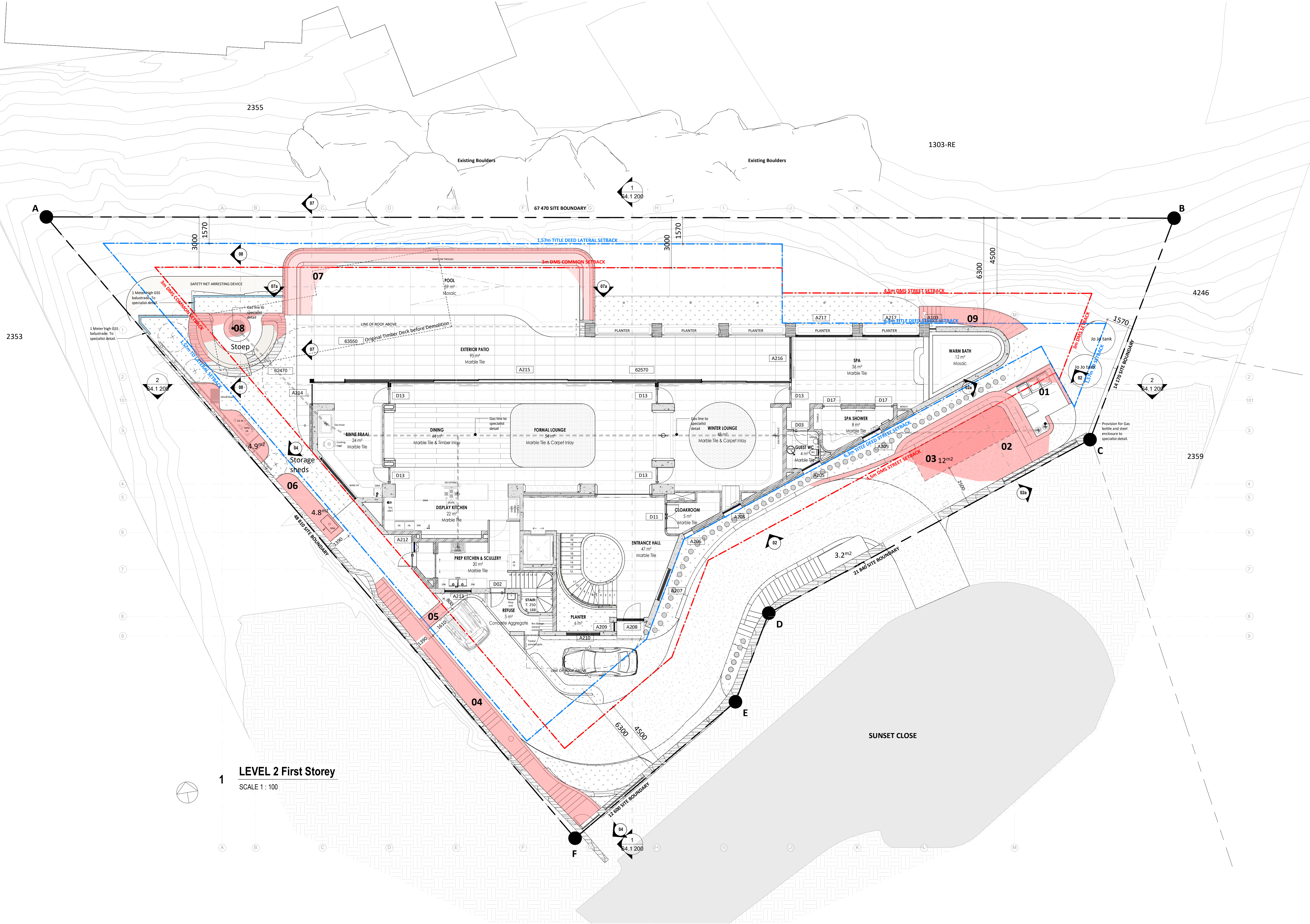
COUNCIL

Project: **Sunset Avenue**

Drawing: **Council - Level 1 Basement**

Client:

Erf No.:	Address:
2354	1 Sunset Close, Llandudno
Drawing No:	Date:
S4.1 101.	2025/05/05 20:47:31
Drawn By:	Scale:
BK	As indicated
	Rev.:
	0



SUMMARY OF ZONING		
Single Residential Zone 1	ERF Number: 2354	
Land Unit Area:	ERF Size: 1345m ²	
Floor Factor:	>1000 up to 2000	
Max Floor Space:	N/A	
Max Height from EGL:	1500m ²	
Boundary Line	Wall Plate	9m
	Top of Roof	11m
	Street	4.5m
	Common	3m
Max Floor Space	ALLOWED	1500m ²
	L1:	545m ²
	L2:	364m ²
	L3:	271m ²
ACHIEVED		
1180m ²		
BUILT UPON		
Site Area:	1345m ²	
Restriction:	One Third	
Allowed:	448m ²	
Achieved:	540m ²	

NOTES:

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CONTOURS ARE DERIVED FROM THE DIVISIONAL COUNCIL OF THE CAPE TOPOGRAPHICAL MAPS ISSUED IN MAY 1981, SHEET 60648.

MECHANICAL VENTILATION & WET SERVICES TO ENGINEERS DETAIL & DESIGN

CONTOUR LEGEND:

COCT 2M GLM EGL: ————

1981 SURVEY: ————

SETBACKS LEGEND:

TITLE DEED: ————

DMS: ————

DEPARTURES	
No.	Description
01	Bin Storage, Gas & Jo Jo Tanks
02	Driveway & Retaining Structure
03	Services Plant & Storage
04	Entrance steps & Landings.
05	Planter
06	External Joinery (Storage Sheds)
07	Pool
08	Fire Pit (Stoop)
09	Side Access Stair Basement Level Balcony

NOTES:

The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work.

No dimensions should be made without reference to the architect.

No part of the construction may encroach the Erf boundary.

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SUBSTITUTION: All Materials and Products specified can be substituted with an equivalent material or product with the approval of the architect.

EXISTING WORKS: All dimensions to existing works to be confirmed onsite.

EXTERNAL CAVITY WALLS: To be 280mm Brickwork Cavity walls tied with butterfly GMS wire ties at a rate of 1 wire tie per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork.

CEILING: To all external door and window openings. Glass wool insulation laid on ceiling.

INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

INTERNAL WALLS: 100mm Brickwork structural walls and partition walls as per NBR & SANS 10400.

INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

UNTOOLS: APS precast lintols to be built over openings in brickwork exceeding 2.2m to manufacturer's spec with min 4 courses brickwork above lintol.

CEILING: Ceilings painted 3 coats to later spec.

DPM: All DPM's to be of high quality and SABS approved and to be installed to manufacturer's spec.

FLOORS: Specified floor finish on 30mm screed on concrete surface bed to engineers spec. on min 250micron DPM on 30mm sand bedding on hardcore.

ROOF: All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part 1.

INTERNAL AND EXTERNAL STEPS: Riser and tread sizes to comply with SANS 10400 Part M Treads tiled to later detail.

HANDRAILS AND BALUSTRADES: To comply with SANS 10400 Part M. Filing details to structural engineer's specification.

Handrail and balustrade height to comply with SANS 10400 Part M.

Handrails: All handrails shall not contain any opening that will permit the passage of a 100mm Ø ball.

INTERNAL DOORS: Doors and frames to be sealed to later spec.

STORMWATER: Stormwater disposal to comply with SABS Part 8.

LIGHT & VENTILATION: Naturally lit and ventilated dwelling to comply with SABS Part O. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

PAINT COLOURS: To conform with any colours required by Municipality Guidelines where applicable.

FOUNDATIONS: All foundations & retaining walls to engineers detail.

CONCRETE WORK: All slabs retaining walls & foundations to engineers detail.

PLUMBING AND DRAINAGE:

1. all drainage to comply with SANS 10400 section p
2. all drainage to comply with local authority bye-laws
3. all traps to have 75mm deep seal
4. all waste pipes to be 40mm dia upvc unless otherwise shown
5. all bends to be 600mm radius slow bends
6. all waste fittings to have anti-vacuum traps
7. soil pipes below building to be encased in 300mm concrete
8. no portion of any drain is to carry load

Plumbing items and drainage to comply with SABS Part P.

GLAZING: Glazing to comply with SANS 10400 Part H and SANS 10137. Safety glazing required in bath enclosure or glazed shower cubicle or where glazing occurs immediately above and within a distance of 1800mm horizontally or vertically from a bath or shower. All glazing thickness and safety glazing to be in accordance with SANS 10400 Part N. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.

ARCHITECT SIGNATURE:

SAJA, 0939
SACAP, 6452
PRACTICE: PB 340358

CLIENT SIGNATURE:

[Signature]
Sunet Avenue

The following building elements to comply with the detailed requirements of SANS legislation 10400:

ROOFS AND WATERPROOFING: SANS 10400 - L

FLOORS: SANS 10400 - T

WALLS: SANS 10400 - T / 10400 - K

STAIRWAYS: SANS 10400 - B / 10400 - T / 10400 - N / 10400 - K

GLAZING: SANS 10400 - B / 10400 - H

LIGHTING: SANS 10400 - T / 10400 - O

DRAINAGE: SANS 10400 - P

STORMWATER: SANS 10400 - R

DISABLED: SANS 10400 - S

FIRE: SANS 10400 - V

XA ENERGY: SANS 10400 - XA / SANS 204



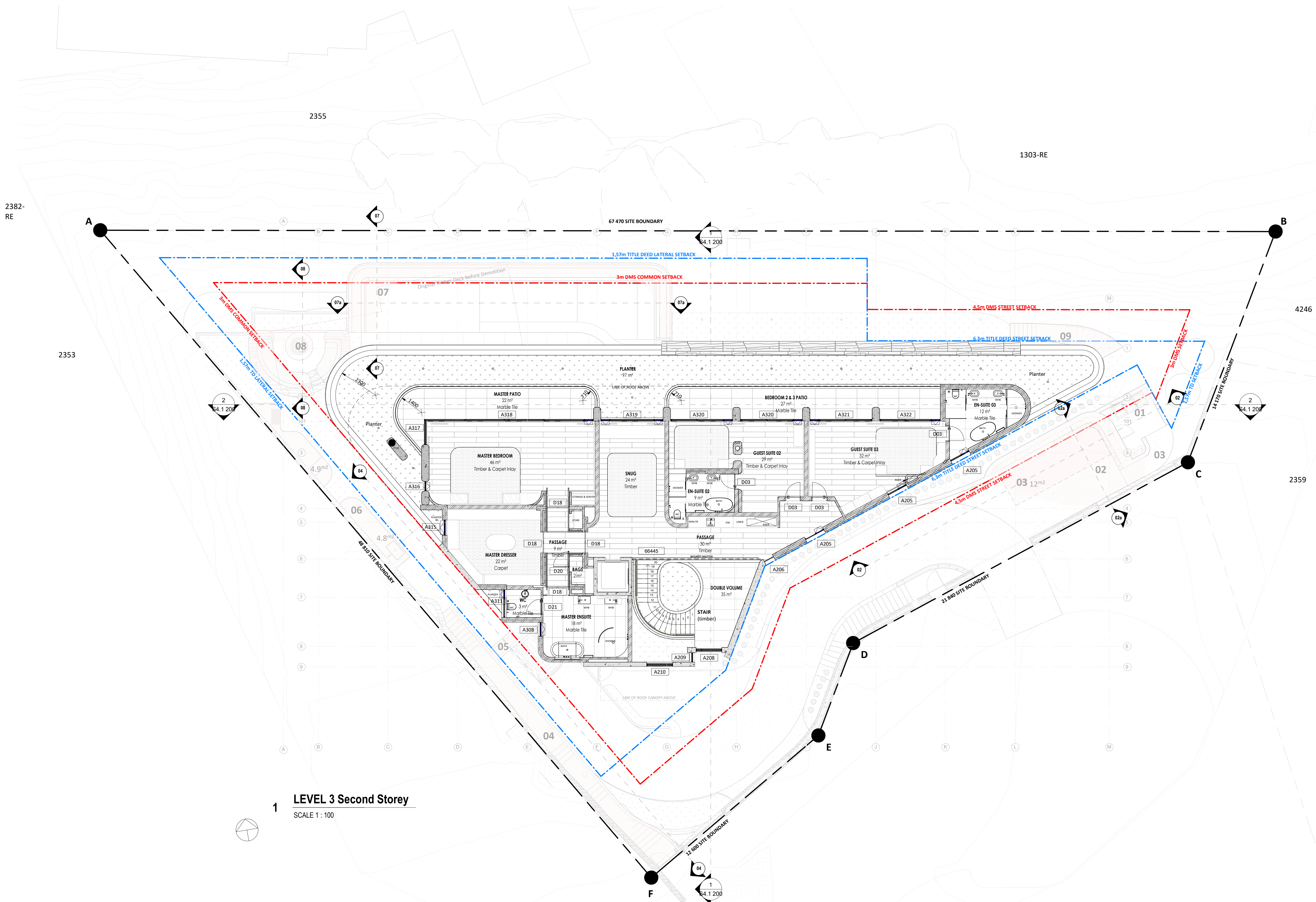
COUNCIL

Project: Sunet Avenue

Drawing: Council - Level 2 First Storey

Client:

Erf No.:	Address:
2354	1 Sunset Close, Llandudno
Drawing No:	Date:
S4.1 102.	2025/05/05 20:47:44
Drawn By:	Scale:
BK	As indicated
Rev.:	0



2382-RE

2353

2355

1303-RE

4246

2359

1 LEVEL 3 Second Storey
SCALE 1:100

SUMMARY OF ZONING		
Single Residential Zone 1	ERF Number: 2354	
Land Unit Area:	ERF Size: 1345m ²	
Floor Factor:	>1000 up to 2000	
Max Floor Space:	N/A	
Max Height from EGL:	1500m ²	
Boundary Line	Wall Plate	9m
	Top of Roof	11m
Common	Street	4.5m
	Common	3m
Max Floor Space	ALLOWED	1500m ²
	L1:	545m ²
	L2:	364m ²
	L3:	271m ²
ACHIEVED		
1180m ²		
BUILT UPON		
Site Area:	1345m ²	
Restriction:	One Third	
Allowed:	448m ²	
Achieved:	540m ²	

NOTES:

CONTOURS ARE AS PER SECTION 184 OF THE LLANDUDNO LOCAL AREA

CONTOURS ARE DERIVED FROM THE DIVISIONAL COUNCIL OF THE CAPE TOPOGRAPHICAL MAPS ISSUED IN MAY 1981, SHEET 60648.

MECHANICAL VENTILATION & WET SERVICES TO ENGINEERS DETAIL & DESIGN

CONTOUR LEGEND:

DOCT 2M GLM EGL: ---

1981 SURVEY: ---

SETBACKS LEGEND:

TITLE DEED: ---

DMS: ---

Revision	Date	By
LUM Submission	2025/05/05	

NOTES:

The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work. No assumptions should be made without reference to the architect.

No dimensions should be scaled from this drawing. No part of the construction may encroach the Erf boundary. The design of this drawing is copyright and remains the property of the architect.

SUBSTITUTION: All Materials and Products specified can be substituted with an equivalent material or product with architects approval - unless stated otherwise.

EXISTING WORKS: All dimensions into existing works to be confirmed onsite.

EXTERNAL CAVITY WALLS: To be 280mm Brickwork Cavity walls tied with butterfly GMS wire ties at a rate of 1 wire tie per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork.

WIREPHOLTS: at minimum 1 meter center's, approx. every 3rd perpend.

OPCS to all external door and window openings. Glass wool insulation laid on ceiling.

INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

INTERNAL WALLS: 110mm Brickwork structural walls and partition walls as per NBR & SANS 10400.

INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.

UNTOOLS: APS precast lintols to be built over openings in brickwork exceeding 2.2m to manufacturer's spec with min 4 courses brickwork above lintol.

Lintols over openings wider than 3m to engineer's specifications.

Ceilings: Ceilings painted 3 coats to later spec.

DPM: All DPM's to be of high quality and SABS approved and to be installed to manufacturer's spec.

FLOORS: Specified floor finish on 30mm screed on concrete surface bed to engineers spec. on min 250micron DPM on 30mm sand bedding on hardcore.

ROOF: All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L.

INTERNAL AND EXTERNAL STEPS: Riser and tread sizes to comply with SANS 10400 Part M Treads tiled to later detail. Refer drawing for dimensions.

HANDRAILS AND BALLUSTRADES: To comply with SANS 10400 Part M. Filing details to structural engineer's specification.

Handrail and balustrade height to comply with SANS 10400 Part M.

All balustrades shall not contain any opening that will permit the passage of a 100mm Ø ball.

INTERNAL DOORS: Doors and frames to be sealed to later spec.

STORMWATER: Stormwater disposal to comply with SANS Part 8.

LIGHT & VENTILATION: Naturally lit and ventilated dwelling to comply with SANS Part O. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.

PAINT COLOURS: To conform with any colours required by Municipality Guidelines where applicable.

FOUNDATIONS: All foundations & retaining walls to engineers detail.

CONCRETE WORK: All slabs retaining walls & foundations to engineers detail.

PLUMBING AND DRAINAGE:

1. all drainage to comply with SANS 10400 section p

2. all drainage to comply with local authority bye-laws

3. all traps to have 75mm deep seal

4. all waste pipes to be 40mm dia upvc unless otherwise shown

5. all bends to be 600mm radius slow bends

6. all waste fittings to have anti-vacuum traps

7. soil pipes below building to be encased in 300mm concrete

8. no portion of any drain is to carry load

Plumbing items and drainage to comply with SABS Part P.

GLAZING: Glazing to comply with SANS 10400 Part H and SANS 10137. Safety glazing required in bath enclosure or glazed shower cubicle or where glazing occurs immediately above and within a distance of 1800mm horizontally or vertically from a bath or shower. All glazing thickness and safety glazing to be in accordance with SANS 10400 Part N. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.

DISABLED: SANS 10400 - S

FIRE: SANS 10400 - V

XA ENERGY: SANS 10400 - XA/ SANS 204

ARCHITECT SIGNATURE:

SAAU: B939
SACAP: 6452
PRACTICE: PB 340358

CLIENT SIGNATURE:

The following building elements to comply with the detailed requirements of SANS legislation 10400:

ROOFS AND WATERPROOFING: SANS 10400 - L

FLOORS: SANS 10400 - T

WALLS: SANS 10400 - T/ 10400 - K

STAIRWAYS: SANS 10400 - B/ 10400 - TJ 10400 - N/ 10400 - K

GLAZING: SANS 10400 - B/ 10400 - H

LIGHTING: SANS 10400 - T/ 10400 - O

DRAINAGE: SANS 10400 - P

STORMWATER: SANS 10400 - R

DISABLED: SANS 10400 - S

FIRE: SANS 10400 - V

XA ENERGY: SANS 10400 - XA/ SANS 204



COUNCIL

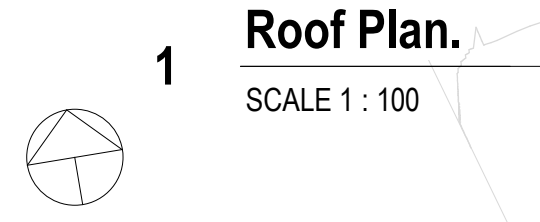
Project: Sunset Avenue
Drawing: Council - Level 3 Second Storey
Client:

Erf No.: 2354
Drawing No: 1
Sunset Close, Llandudno

Date: 2025/05/05 20:47:55

Scale: As indicated

Rev: 0



NOTES:

CONTOURS ARE AS PER SECTION 184 OF THE LLANDUDNO LOCAL AREA

CONTOURS ARE DERIVED FROM THE DIVISIONAL COUNCIL OF THE CAPE TOPOGRAPHICAL MAPS ISSUED IN MAY 1981, SHEET 60648.

MECHANICAL VENTILATION
& WET SERVICES TO ENGINEERS DETAIL & DESIGN

CONTOUR LEGEND:

COCT 2M GLM EGL: ————

1981 SURVEY: ————

SETBACKS LEGEND:

TITLE DEED: ————

DMS: ————

Revision	Date	By
LUM Submission	2025.05.05	

ARCHITECT SIGNATURE:
SAIA: 6939
SACAP: 6452
PRACTICE: PB 340358

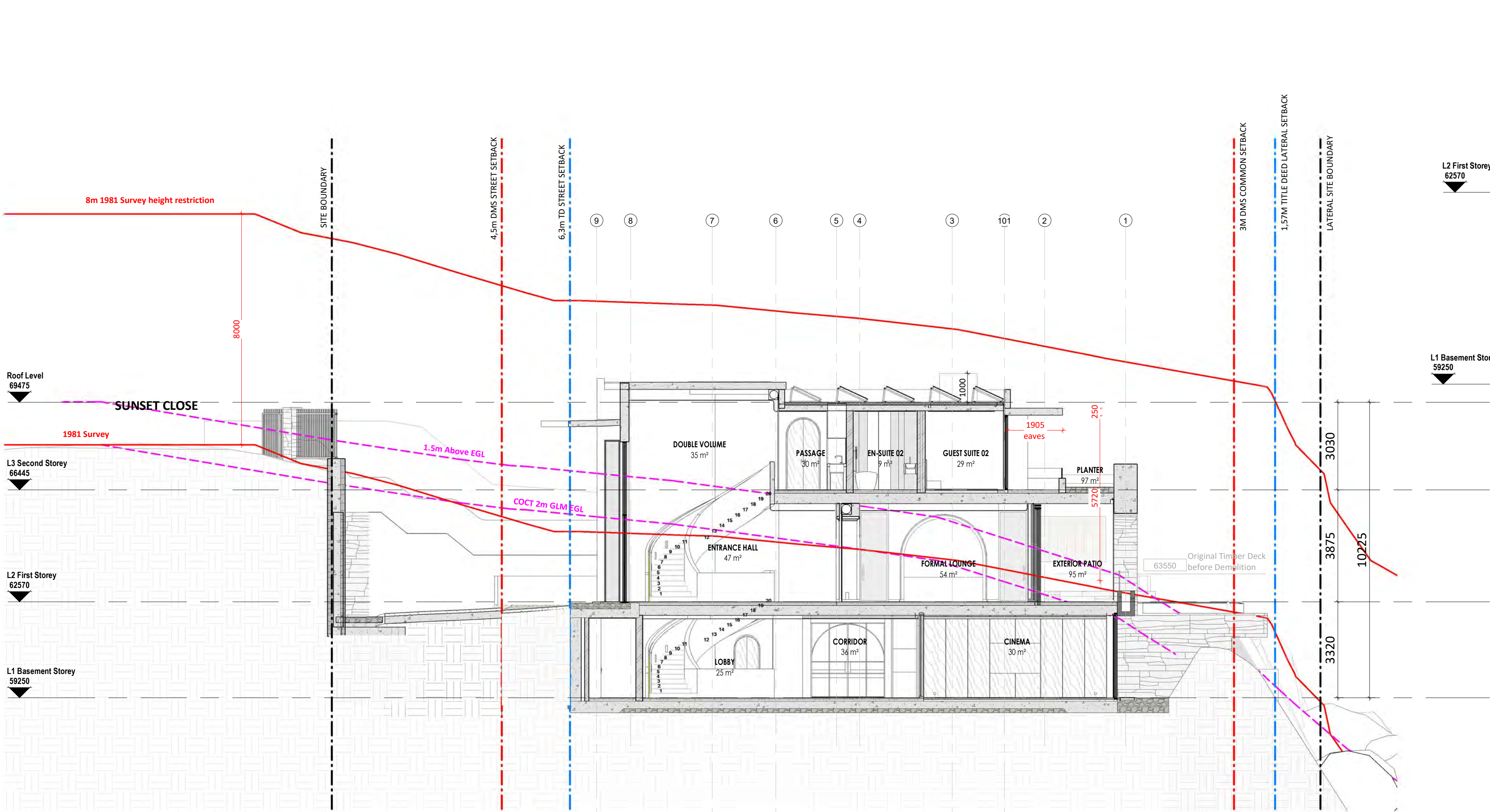
The following building elements to comply with the detailed requirements of SANS legislation 10400:

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- FLOORS: SANS 10400 - T
- WALLS: SANS 10400 - T/ 10400 - K
- STAIRWAYS: SANS 10400 - B/ 10400 - T/ 10400 - M/ 10400 - K
- GLAZING: SANS 10400 - B/ 10400 - N
- LIGHTING: SANS 10400 - T/ 10400 - O
- DRAINAGE: SANS 10400 - P
- STORMWATER: SANS 10400 - R
- DISABLED: SANS 10400 - S
- FIRE: SANS 10400 - V
- XA ENERGY: SANS 10400 - XA/ SANS 204

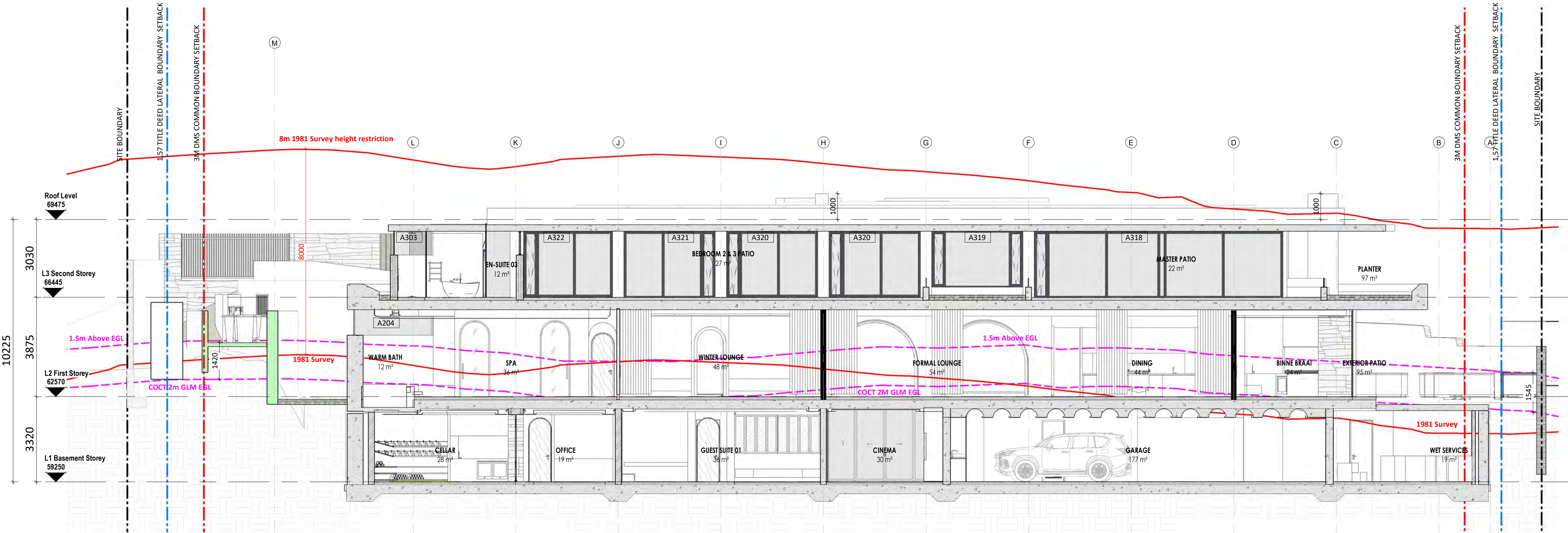


Erft No :	Address :
2354	1 Sunset Close, Llandudno

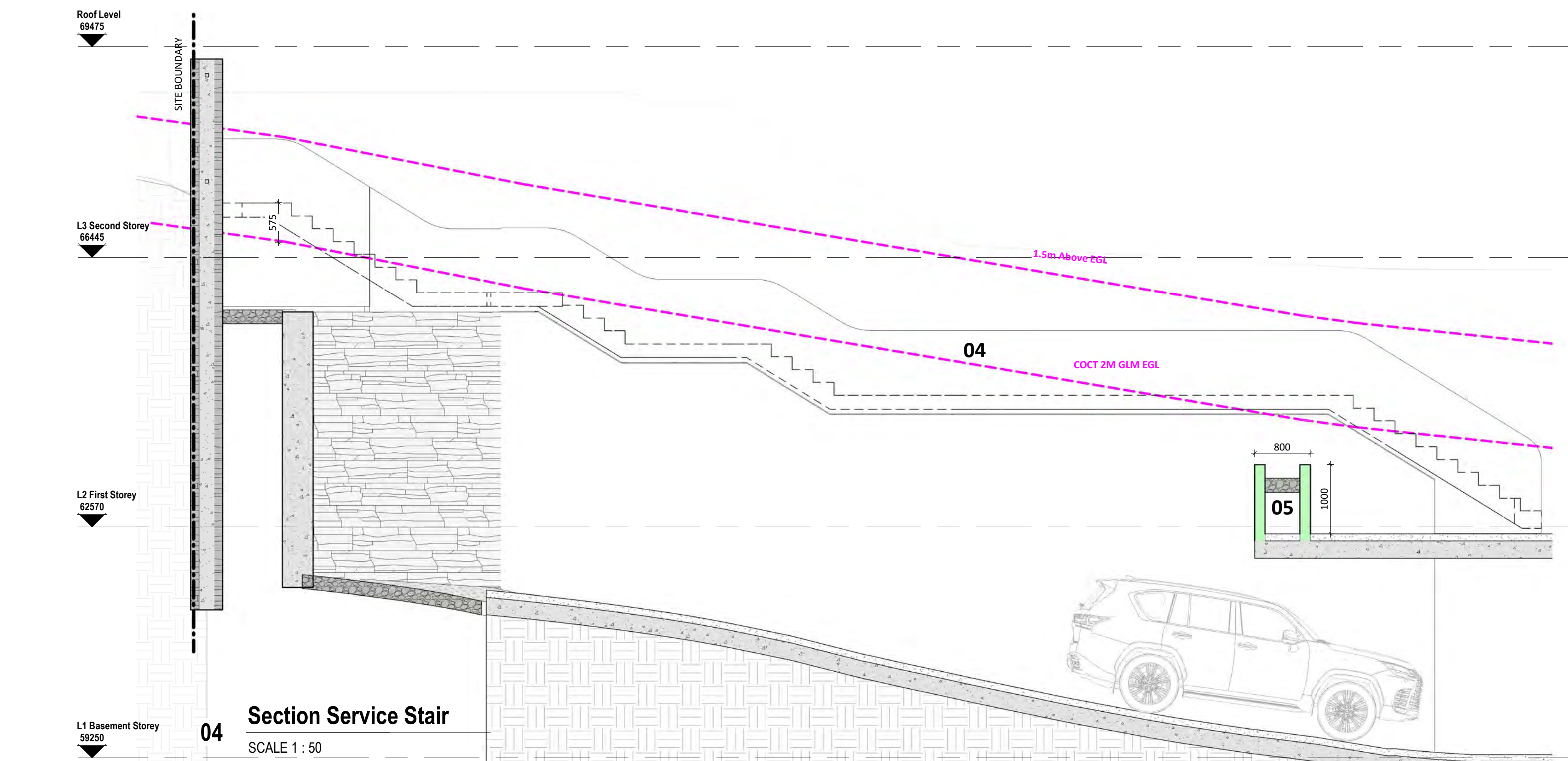
4.1 104.	2025/05/05 20:48:05	
Down By :	Scale :	Rev. :
BK	As indicated	0



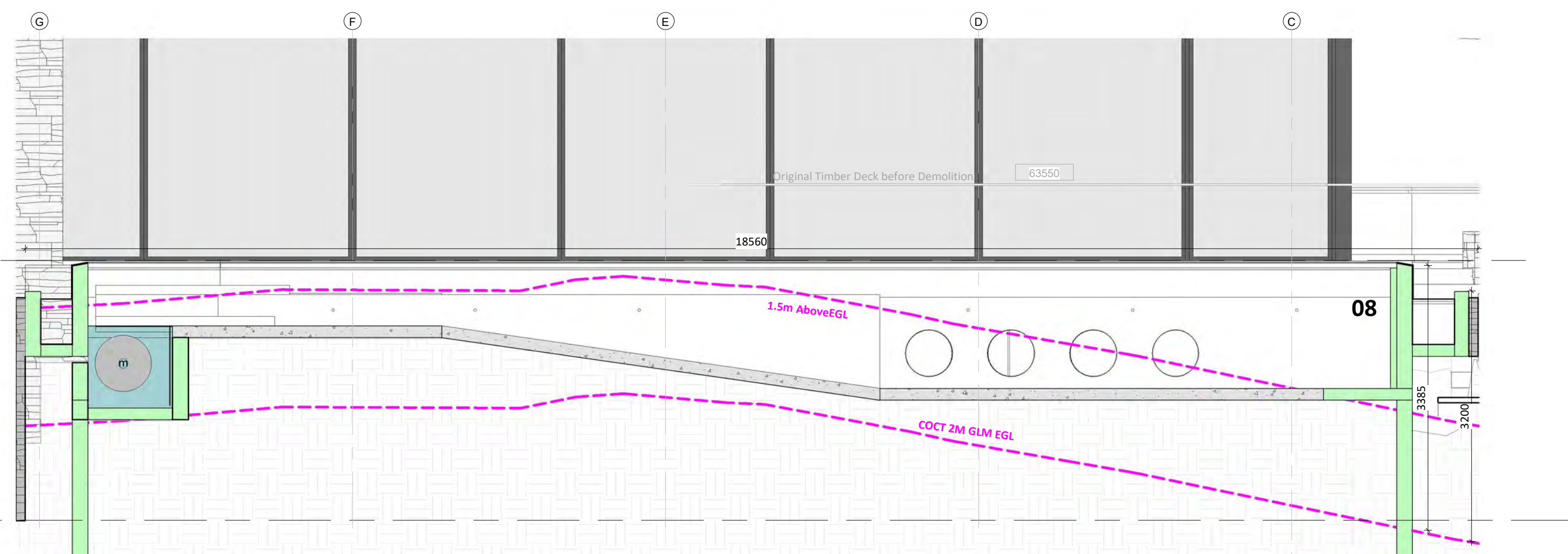
Section 01
SCALE 1 : 100



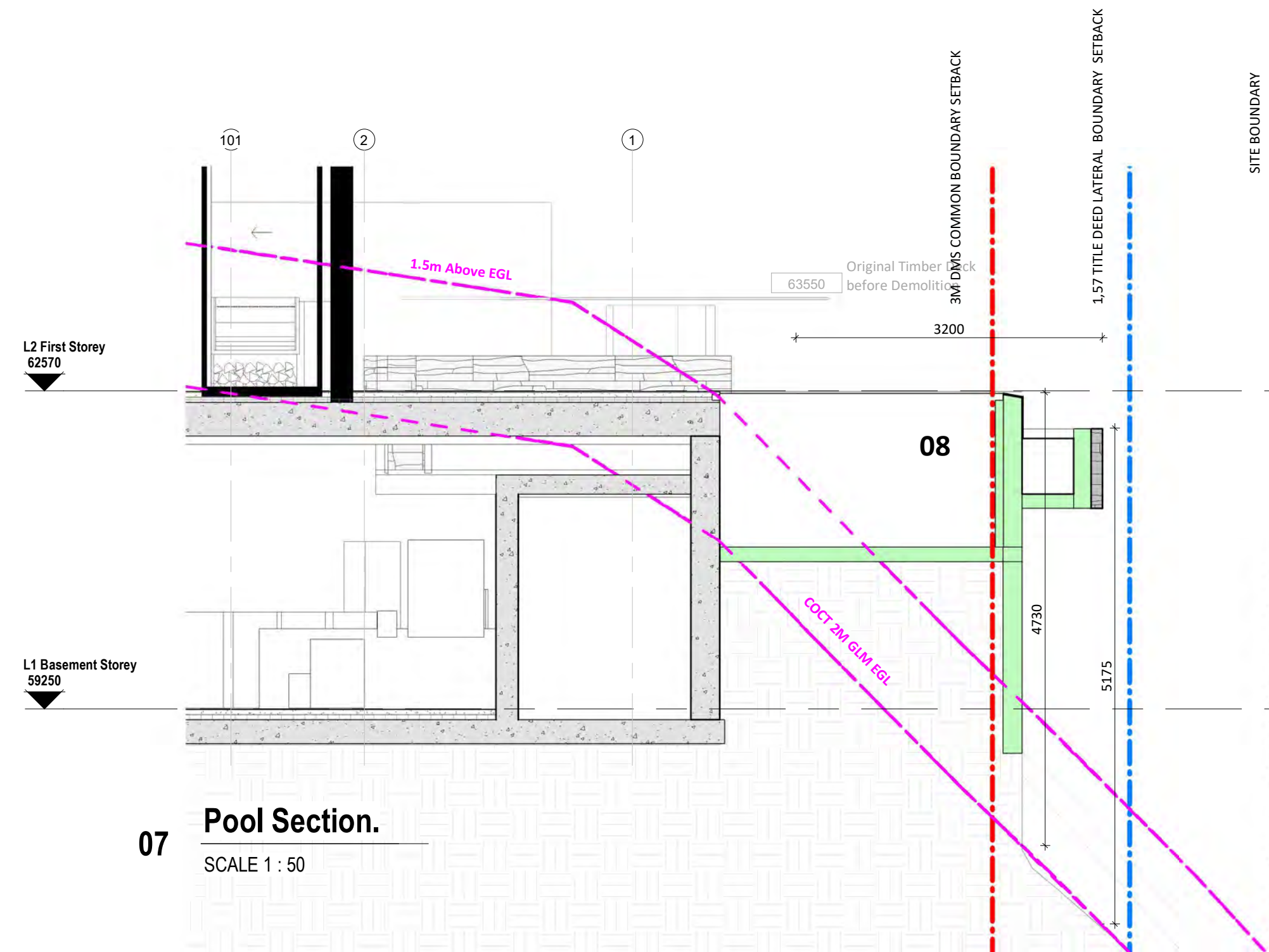
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SCALE 1 : 100



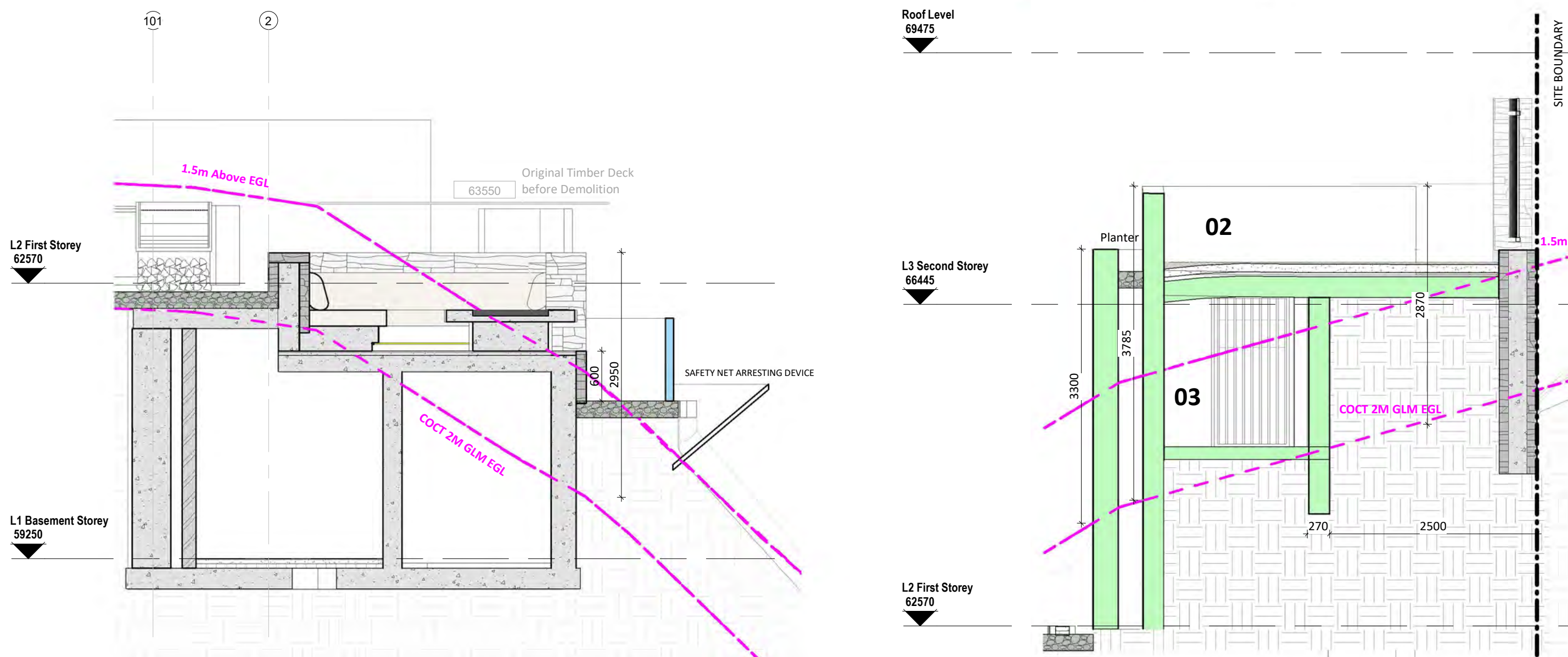
Section Service Stair
SCALE 1 : 50



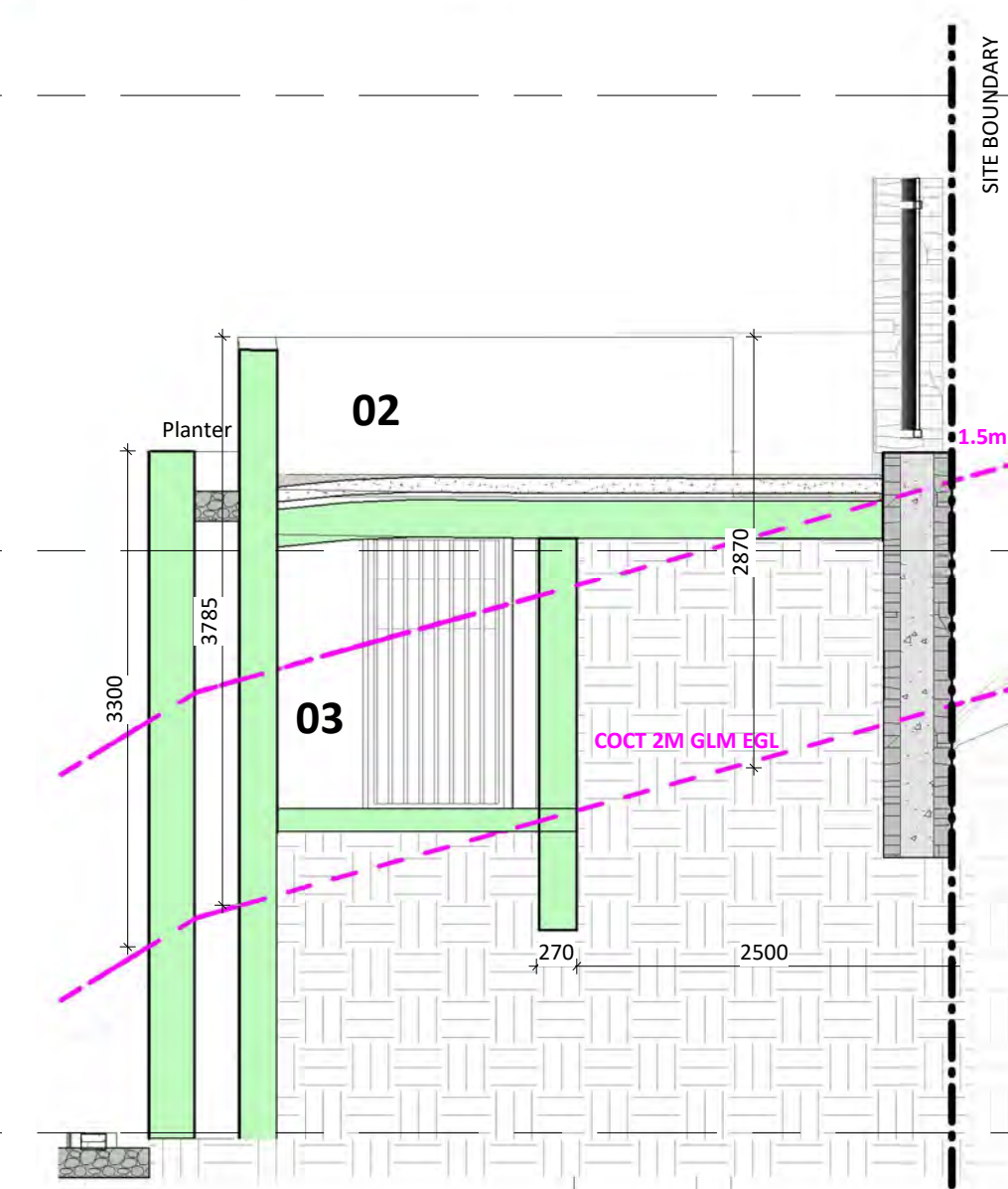
Pool Section
SCALE 1 : 50



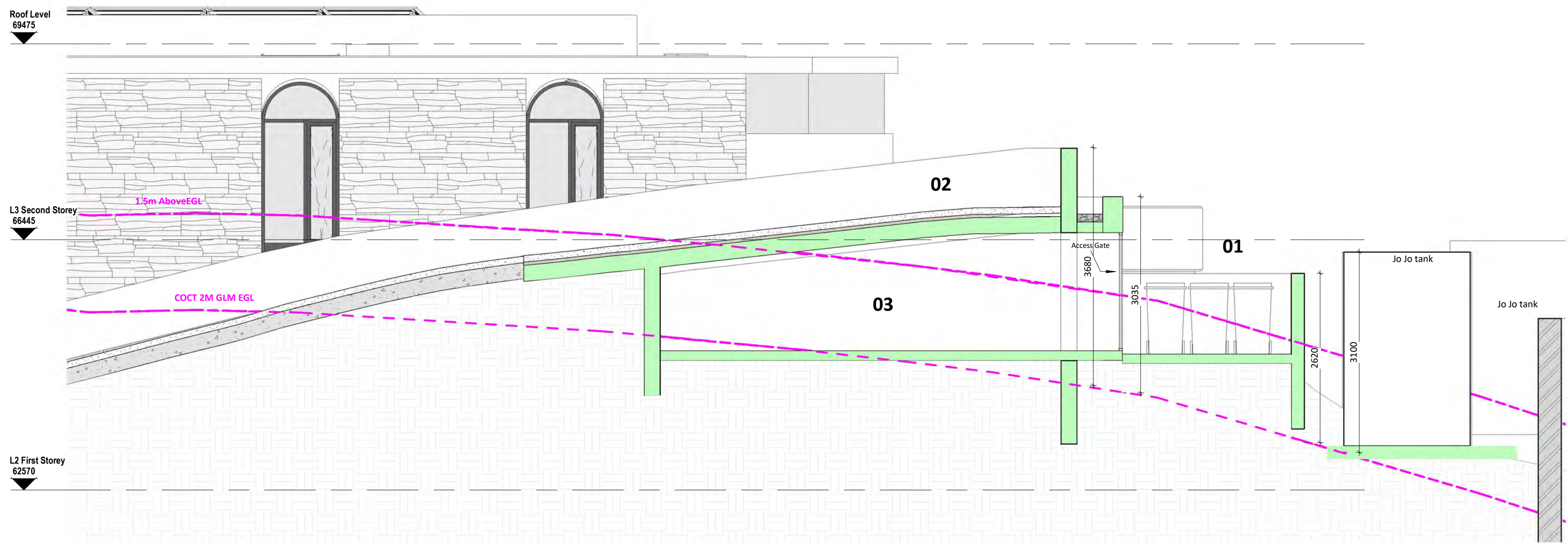
Pool Section.
SCALE 1 : 50



Fire Pit Section
SCALE 1 : 50



Driveway Section.
SCALE 1 : 50



Driveway Section
SCALE 1 : 50

SUMMARY OF ZONING		
Single Residential Zone 1	ERF Number: 2354	ERF Size: 1345m²
Land Unit Area:	>1000 up to 2000	
Floor Factor:	N/A	
Max Floor Space:	1500m²	
Max Height from EGL:	Wall Plate	9m
	Top of Roof	11m
	Street	4.5m
Boundary Line	Common	3m
Max Floor Space	ALLOWED	1500m²
	L1:	545m²
	L2:	364m²
	L3:	271m²
		1180m²
BUILT UPON		
Site Area:	1345m²	
Restriction:	One Third	
Allowed:	448m²	
Achieved:	540m²	

NOTES:
CONTOURS ARE AS PER SECTION 184 OF THE LLANDUDNO LOCAL AREA
CONTOURS ARE DERIVED FROM THE DIVISIONAL COUNCIL OF THE CAPE TOPOGRAPHICAL MAPS ISSUED IN MAY 1981, SHEET 60648.

MECHANICAL VENTILATION & WET SERVICES TO ENGINEERS DETAIL & DESIGN

CONTOUR LEGEND:
COCT 2M GLM EGL: ---
1981 SURVEY: ---

SETBACKS LEGEND:
TITLE DEED: ---
DMS: ---

DEPARTURES	
No.	Description
01	Bin Storage, Gas & Jo Jo Tanks
02	Driveway & Retaining Structure
03	Services Plant & Storage
04	Entrance steps & Landings
05	Planter
06	External Joinery (Storage Sheds)
07	Pool
08	Fire Pit (Stoop)
09	Side Access Stair Basement Level Balcony

Revision	Date	By
LUM Submission	2025/05/05	JB

NOTES:
The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work.
No assumptions should be made without reference to the architect.
No dimensions should be scaled from this drawing.
No part of the construction may encroach the Erf boundary. The design of this drawing is copyright and remains the property of the architect.
SUBSTITUTION: All Materials and Products specified can be substituted with an equivalent material or product with the architects approval - unless stated otherwise.
EXISTING WORKS: All dimensions into existing works to be confirmed onsite.
EXTERNAL CAVITY WALLS: To be 280mm Brickwork Cavity walls tied with butterfly DMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork.
WIREPHOTOS: at maximum 1 meter center's, approx. every 3rd perpend.
INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
INTERNAL WALLS: 100mm Brickwork structural walls and partition walls as per NBR & SANS 10400.
INTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
EXTERNAL FINISH: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
UNTOOLS: APS precast lintols to be built over openings in brickwork exceeding 1.2m to manufacturer's spec with min 4 courses brickwork above lintol.
CEILING: Ceilings painted 3 coats to later spec.
FLOORS: Specified floor finish on 30mm screed on concrete surface tied to engineers spec. on min 250mm DPM on 200mm sand bedding on hardcore.
ROOF: All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L.
INTERNAL AND EXTERNAL STEPS: Riser and tread sizes to comply with SANS 10400 Part M Treads tiled to later detail. Refer drawing for dimensions.
HANDRAILS AND BALUSTRADES: To comply with SANS 10400 Part M. Firing details to structural engineer's specification. Handrail and balustrade height to comply with SANS 10400 Part M.
All balustrades shall not contain any opening that will permit the passage of a 100mm Ø ball.
INTERNAL DOORS: Doors and frames to be sealed to later spec.
STORMWATER: Stormwater disposed to comply with SANS Part K.
LIGHT & VENTILATION: Naturally lit and ventilated dwelling to comply with SANS Part O. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.
PAINT COLOURS: To conform with any colours required by Municipality Guidelines where applicable.
FOUNDATIONS: All foundations & retaining walls to engineers detail.
CONCRETE WORK: All slabs retaining walls & foundations to engineers detail.
PLUMBING AND DRAINAGE:
1. all drainage to comply with SANS 10400 section p
2. all drainage to comply with local authority bye-laws
3. all traps to have 75mm deep seal
4. all waste pipes to be 40mm dia upvc unless otherwise shown
5. all bends to be 600mm radius slow bends
6. all waste fittings to have anti-vacuum traps
7. soil pipes below building to be encased in 300mm concrete
8. no portion of any drain is to carry load
Plumbing items and drainage to comply with SANS Part P.
GLAZING: Glazing to comply with SANS 10400 Part K and SANS 10137. Safety glazing required in bath enclosure or glazed shower cubicle or where glazing occurs immediately above and within a distance of 1800mm horizontally or vertically from a bath or shower. All glazing thickness and safety glazing to be in accordance with SANS 10400 Part K. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.

ARCHITECT SIGNATURE:
SALA: 0939
SACAP: 6452
PRACTICE: PB 340358

CLIENT SIGNATURE:
[Signature]

The following building elements to comply with the detailed requirements of SANS legislation 10400:
ROOFS AND WATERPROOFING: SANS 10400 - L
FLOORS: SANS 10400 - T
WALLS: SANS 10400 - T / 10400 - K
STAIRWAYS: SANS 10400 - R / 10400 - T / 10400 - N / 10400 - K
GLAZING: SANS 10400 - R / 10400 - K
LIGHTING: SANS 10400 - T / 10400 - O
DRAINAGE: SANS 10400 - P
STORMWATER: SANS 10400 - R
DISABLED: SANS 10400 - S
FIRE: SANS 10400 - V
XA ENERGY: SANS 10400 - XA / SANS 204



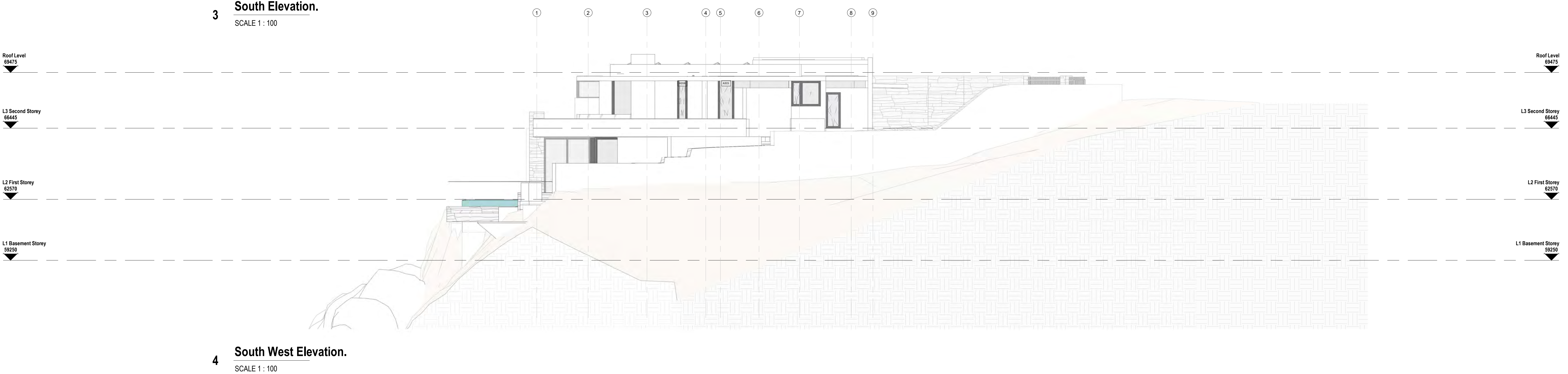
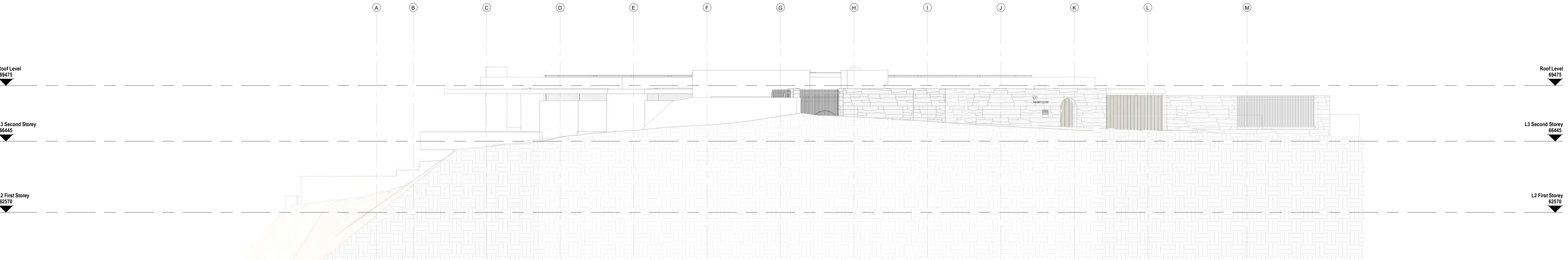
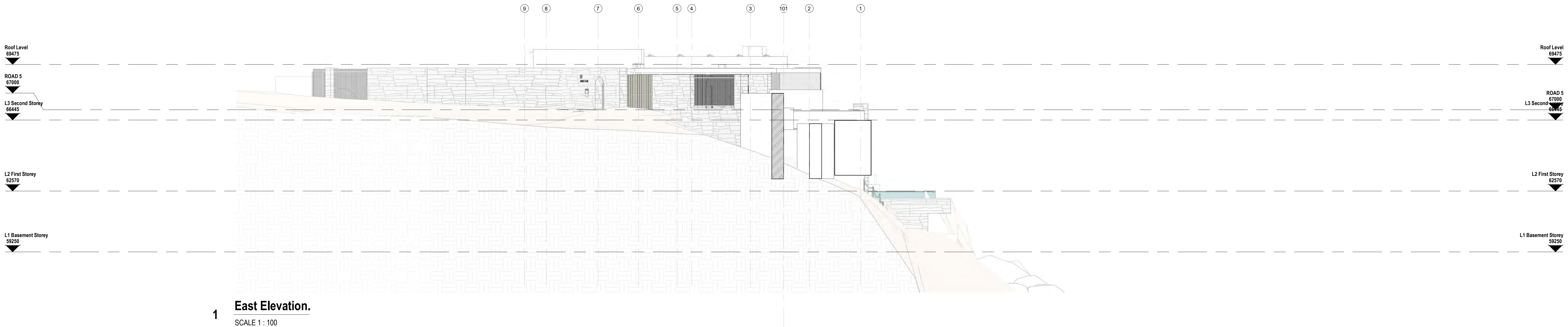
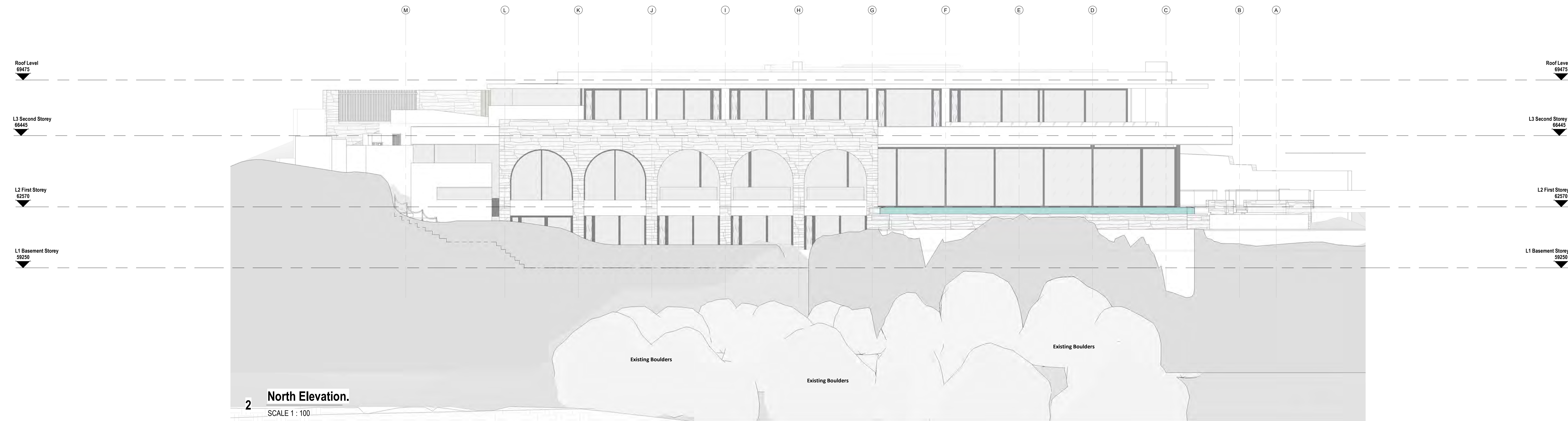
COUNCIL

Project:
Sunset Avenue
Drawing:
Council - Sections
Client:

Erft No:	Address:
2354	1 Sunset Close, Llandudno
Drawing No:	Date:
S4.1 200	2025/05/05 20:48:26
Drawn By:	Scale:
BK	As indicated
Rev:	0

REFER TO SECTIONS AND PLANS FOR DEPARTURE POSITIONS.

ELEVATIONS FOR CONTEXT ONLY



Revision	Date	By
LUM Submission	2025/05/05	

NOTES:
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SUBSTITUTION: All Materials and Products specified can be substituted with an equivalent material or product with architects approval- unless stated otherwise.
EXISTING WORKS: All dimensions into existing works to be confirmed onsite.
EXTERNAL CAVITY WALLS: To be 280mm Brickwork Cavity walls tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork.
Wirephotos at maximum 1 meter center's, approx. every 3rd perpend.
DPC's to all external door and window openings. Glass wool insulation laid on ceiling.
Internal Finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
External Finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
INTERNAL WALLS: 110mm Brickwork structural walls and partition walls as per NBR & SANS 10400.
Internal finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
External Finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
UNTOLS: APS precast lintols to be built over openings in brickwork exceeding 1.2m to manufacturer's spec with min 4 courses brickwork above lintol.
Lintols over openings wider than 3m to engineer's specifications.
CEILING: Ceilings painted 3 coats to later spec.
DPM: All DPM's to be of high quality and SABS approved and to be installed to manufacturer's spec.
FLOORS: Specified floor finish on 30mm screed on concrete surface bed to engineers spec. on min 250micron DPM on 200mm sand bedding on hardcore.
ROOF: All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part 1.
INTERNAL AND EXTERNAL STEPS: Riser and tread sizes to comply with SANS 10400 Part M Treads tiled to later detail.
HANDRAILS AND BALUSTRADES: To comply with SANS 10400 Part M. Firing details to structural engineer's specification.
Handrail and balustrade height to comply with SANS 10400 Part M.
All balustrades shall not contain any opening that will permit the passage of a 100mm Ø ball.
INTERNAL DOORS: Doors and frames to be sealed to later spec.
STORMWATER: Stormwater disposal to comply with SABS Part 8.
LIGHT & VENTILATION: Naturally lit and ventilated dwelling to comply with SABS Part O. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.
PAINT COLOURS: To conform with any colours required by Municipality Guidelines where applicable.
FOUNDATIONS: All foundations & retaining walls to engineers detail.
CONCRETE WORK: All slabs retaining walls & foundations to engineers detail.
PLUMBING AND DRAINAGE:
1. all drainage to comply with SANS 10400 section p
2. all drainage to comply with local authority bye-laws
3. all traps to have 75mm deep seal
4. all waste pipes to be 40mm dia upvc unless otherwise shown
5. all bends to be 600mm radius slow bends
6. all waste fittings to have anti-vacuum traps
7. soil pipes below building to be encased in 300mm concrete
8. no portion of any drain is to carry load
Plumbing items and drainage to comply with SABS Part P.
GLAZING: Glazing to comply with SANS 10400 Part H and SANS 10137. Safety glazing required in bath enclosure or glazed shower cubicle or where glazing occurs immediately above and within a distance of 1800mm horizontally or vertically from a bath or shower. All glazing thickness and safety glazing to be in accordance with SANS 10400 Part N. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.

ARCHITECT SIGNATURE:
SAIA: B939
SACAP: 6452
PRACTICE: PB 340358

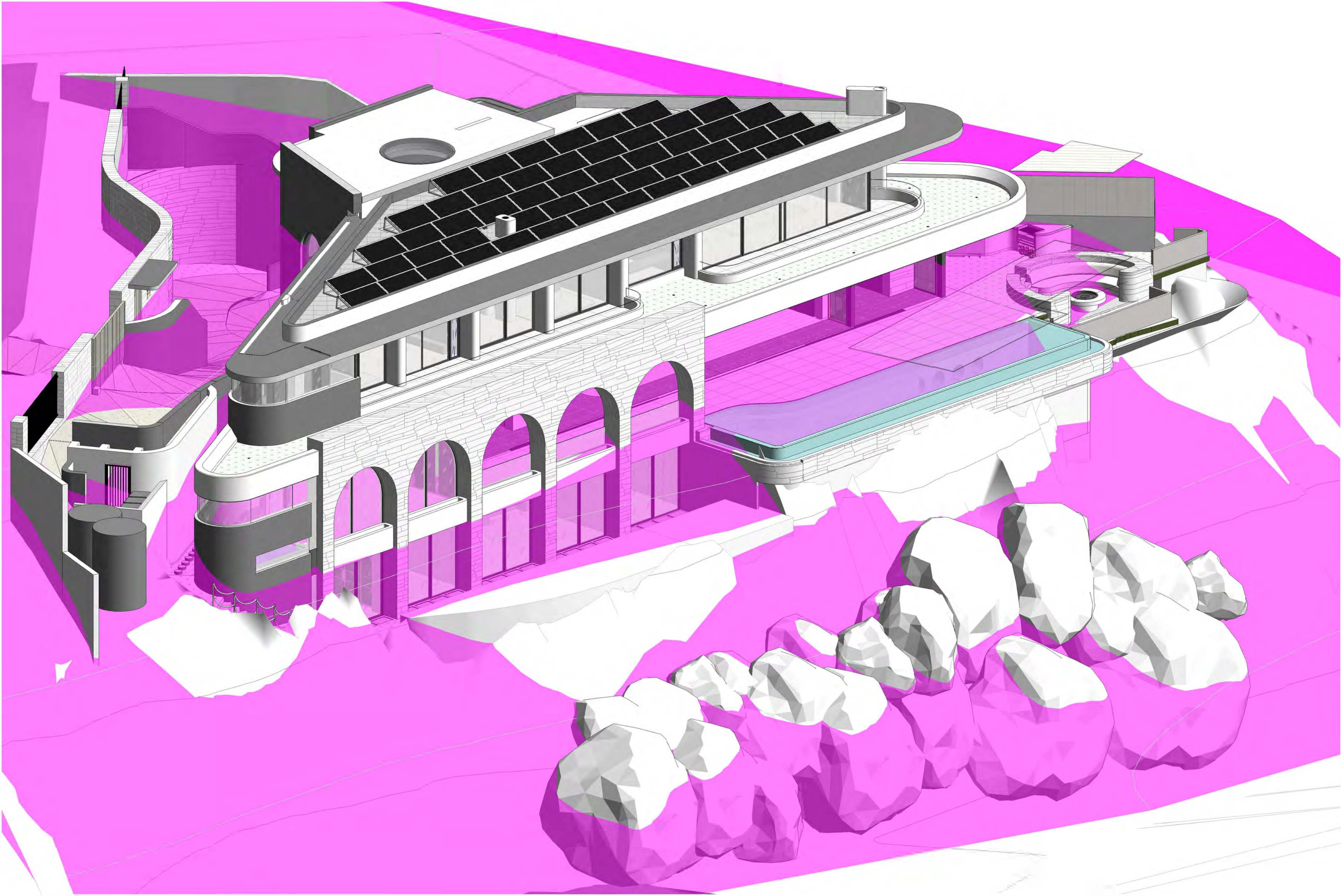
CLIENT SIGNATURE:

The following building elements to comply with the detailed requirements of SANS legislation 10400:
ROOFS AND WATERPROOFING: SANS 10400 - L
FLOORS: SANS 10400 - T
WALLS: SANS 10400 - T / 10400 - K
STAIRWAYS: SANS 10400 - B / 10400 - T / 10400 - N / 10400 - K
GLAZING: SANS 10400 - B / 10400 - N
LIGHTING: SANS 10400 - T / 10400 - O
DRAINAGE: SANS 10400 - P
STORMWATER: SANS 10400 - R
DISABLED: SANS 10400 - S
FIRE: SANS 10400 - V
XA ENERGY: SANS 10400 - XA / SANS 204



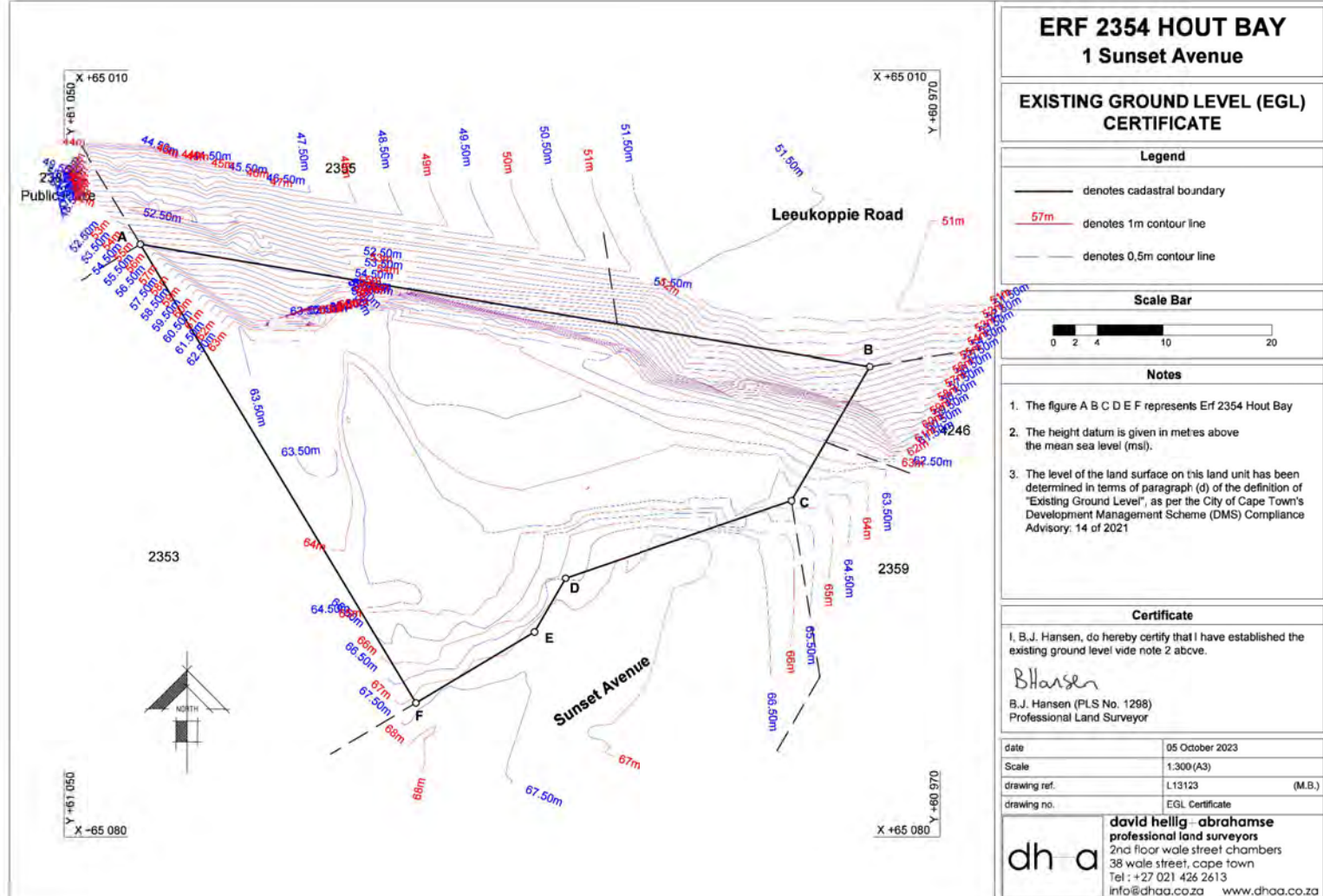
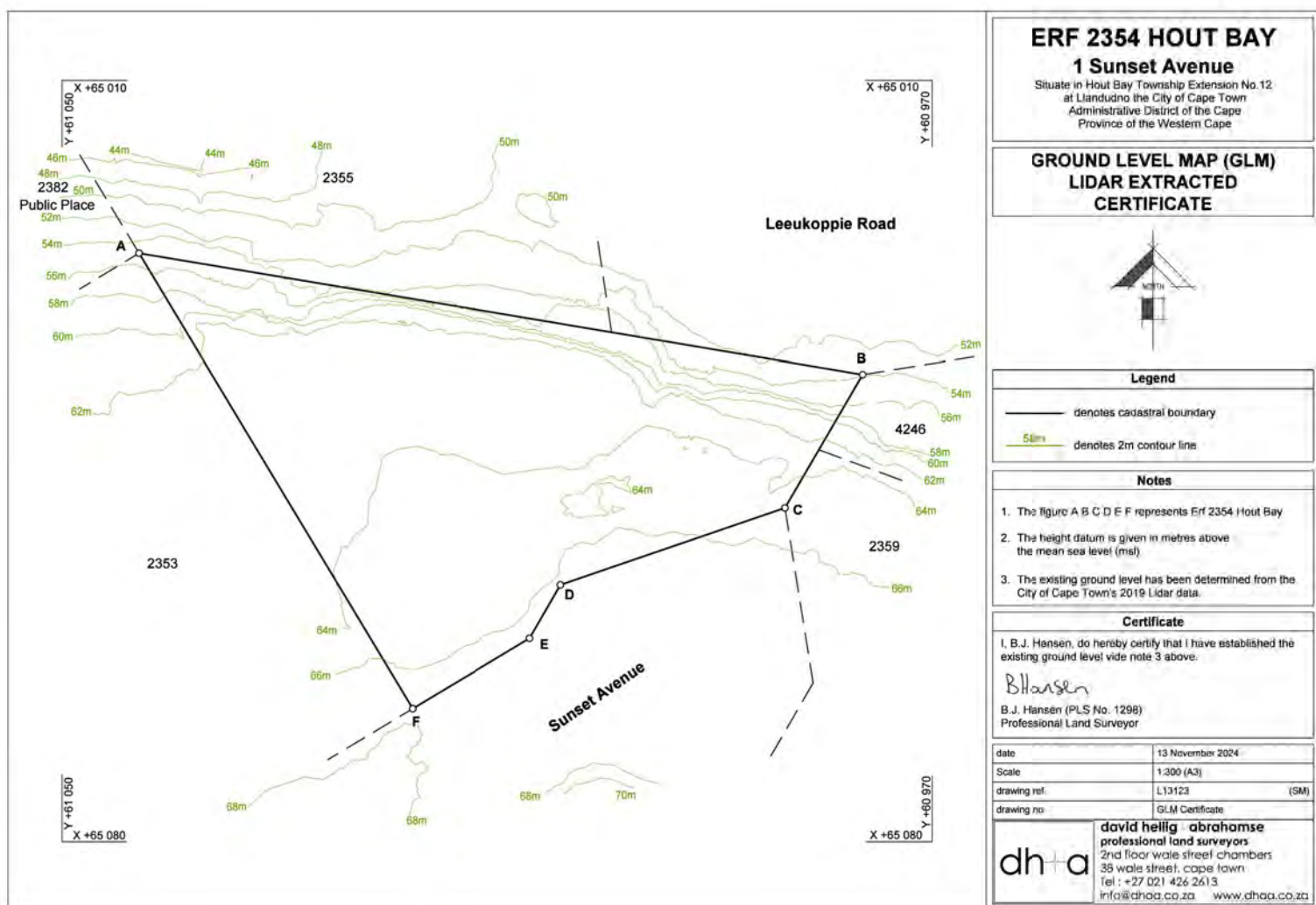
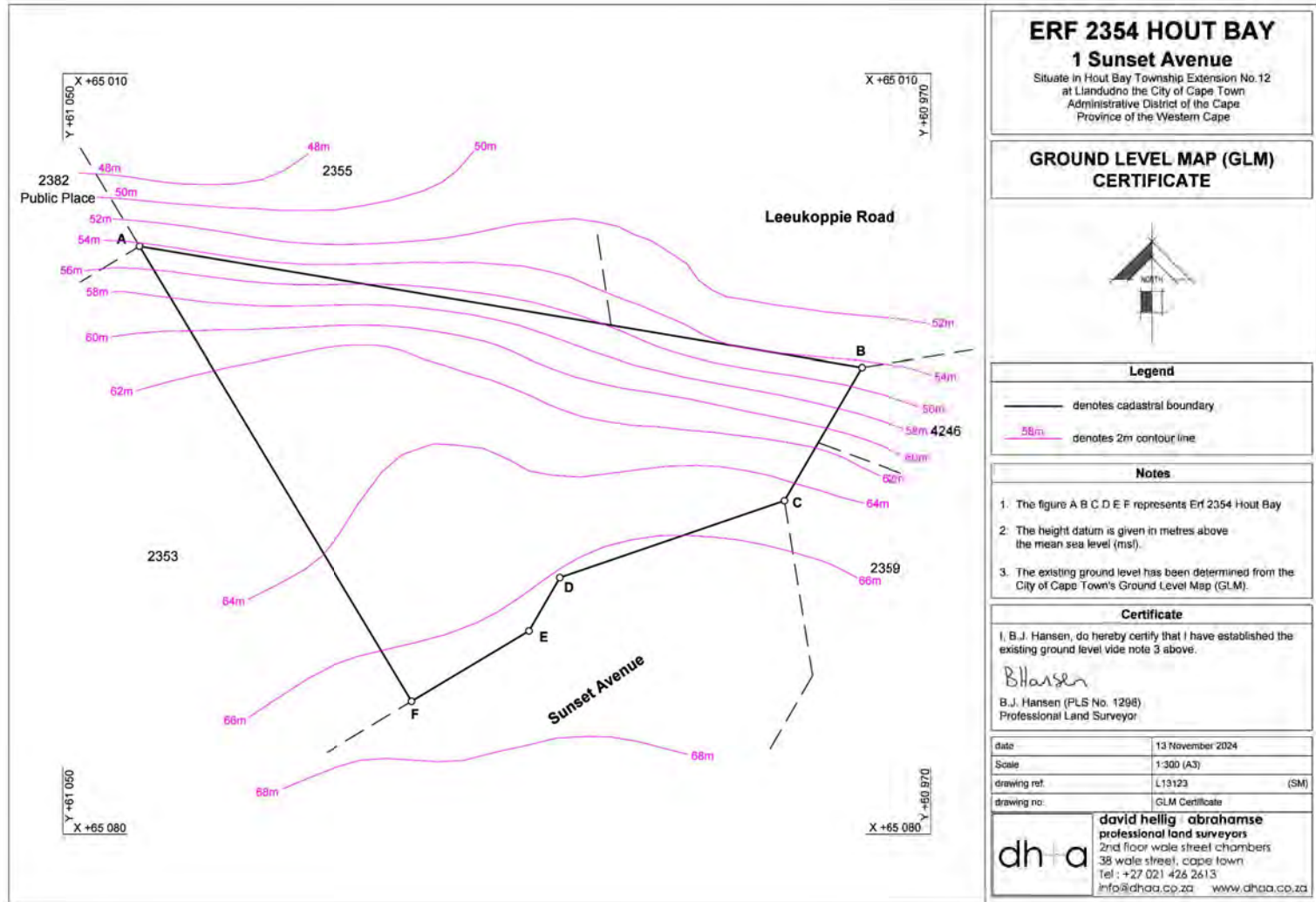
COUNCIL

Project:	
Sunset Avenue	
Drawing:	
Council - Elevations	
Client:	
Erf No:	
2354	
Address:	
1 Sunset Close, Ulandudno	
Drawing No:	
Date:	
2025/05/05 20:48:32	
S4.1 300	
Drawn By:	Scale:
BK	1 : 100
Rev:	0



3 3D View - 1.5m Above EGL (GLM Certificate)
SCALE

Please note substantial difference between (GLM) Certificate
& (EGL) Certificate below.



Revision	Date	By
LUM Submission	2025.0 5.05	

NOTES:
The contractor will be held to have examined the site and checked all dimensions and levels before commencing construction work.
No assumptions should be made without reference to the architect.
No dimensions should be scaled from this drawing.
No part of the construction may encroach the Erf boundary. The design of this drawing is copyright and remains the property of bomax architects.
SUBSTITUTION: All Materials and Products specified can be substituted with an equivalent material or product with architects approval- unless stated otherwise.
EXISTING WORKS: All dimensions into existing works to be confirmed onsite.
EXTERNAL CAVITY WALLS: To be 280mm Brickwork Cavity walls tied with butterfly GMS wire ties at a rate of 5 wire ties per square meter of wall face, to exterior of building. Brickforce to be every 2nd course of brickwork.
Weepholes at minimum 1 meter center's, approx. every 3rd perpend.
DPC's to all external door and window openings. Glass wool insulation laid on ceiling.
Internal finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
External Finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
INTERNAL WALLS: 110mm Brickwork structural walls and partition walls as per NBS & SANS 10400.
Internal finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
External Finish: Cement Plaster Approx MIN 15mm thick and painted min. three coats to later spec.
LINTOLS: APS precast lintols to be built over openings in brickwork exceeding 1.2m to manufacturer's spec with min 4 courses brickwork above lintol.
Lintols over openings wider than 3m to engineer's specifications.
CEILINGs: Ceilings painted 3 coats to later spec.
DPM: All DPM's to be of high quality and SABS approved and to be installed to manufacturer's spec.
FLOORS: Specified floor finish on 30mm screed on concrete surface bed to engineers spec. on min 250micron DPM on 20mm sand blinding on hardcore.
ROOF: All Flat Roofs and Waterproofing thereof to comply with SANS 10400 Part L
INTERNAL AND EXTERNAL STEPS: Riser and tread sizes to comply with SANS 10400 Part M Treads tiled to later detail. Refer drawing for dimensions.
HANDRAILS AND BALUSTRADES: To comply with SANS 10400 Part M. Fixing details to structural engineer's specification. Handrail and balustrade height to comply with SANS 10400 Part M.
All balustrades shall not contain any opening that will permit the passage of a 100mm Ø ball.
INTERNAL DOORS: Doors and frames to be sealed to later spec.
STORMWATER: Stormwater disposal to comply with SABS Part R
LIGHT & VENTILATION: Naturally lit and ventilated dwelling to comply with SABS Part O. Apertures in external walls to provide 10% of floor area natural light and 5% of floor area natural ventilation.
PAINT COLOURS: To conform with any colours required by Municipality Guidelines where applicable.
FOUNDATIONS: All foundations & retaining walls to engineers detail.
CONCRETE WORK: All slabs retaining walls & foundations to engineers detail.
PLUMBING AND DRAINAGE:
1. all drainage to comply with SANS 10400 section p
2. all drainage to comply with local authority bye-laws
3. all traps to have 75mm deep seal
4. all waste pipes to be 40mm dia upvc unless otherwise shown
5. all bends to be 600mm radius slow bends
6. all waste fittings to have anti-vacuum traps
7. soil pipes below building to be encased in 300mm concrete
8. no portion of any drain is to carry load
Plumbing items and drainage to comply with SABS Part P.
GLAZING: Glazing to comply with SANS 10400 Part N and SANS 10137. Safety glazing required in bath enclosure or glazed shower cubicle, or where glazing occurs immediately above and within a distance of 1800mm horizontally or vertically from a bath or shower. All glazing thickness and safety glazing to be in accordance with SANS 10400 Part N. The maximum air leakage for windows and doors shall comply with the requirements of SANS 613.
ARCHITECT SIGNATURE:
SAB: 6939
SACAP: 6452
PRACTICE: PB 340358
Dmb458
CLIENT SIGNATURE:
DAVID HEILIG
DAVID HEILIG
DAVID HEILIG

The following building elements to comply with the detailed requirements of SANS legislation 10400:
ROOFS AND WATERPROOFING: SANS 10400 - L
FLOORS: SANS 10400 - T
WALLS: SANS 10400 - T / 10400 - K
STAIRWAYS: SANS 10400 - B / 10400 - T / 10400 - M / 10400 - K
GLAZING: SANS 10400 - B / 10400 - T / 10400 - N
LIGHTING: SANS 10400 - T / 10400 - O
DRAINAGE: SANS 10400 - P
STORMWATER: SANS 10400 - R
DISABLED: SANS 10400 - S
FIRE: SANS 10400 - V
XA ENERGY: SANS 10400 - XA / SANS 204

X

COUNCIL

Project :
Sunset Avenue

Drawing :
Council - 3D View

Client :

Erf No :
2354

Address :
1 Sunset Close, Llandudno

Drawing No :
S4.1.400.

Date :
2025/05/05 20:49:24

Drawn By :
BK

Scale :
0

C.D.R.

Scale: 1/1250.

Surveyed in January-September 1959 by me.

In terms of section 18 of Ordinance No. 33
of 1934, the Administrator has granted the
application to establish this Township.

See Prov. Sec. Minute. AF/20/1/112.....
date. 9/12/1958..... T.P. File. F 20/1/112
13/2/1960

Erf fees in terms of Sect. 50 (bis) of Ord. 33/1934
have been paid.
Vide S. 15327/72/3 P. 15.
J. P. [Signature]
Surveyor-General.
Date... 20-4-1966..

Notified as an Approved Township in terms
of section 29 (4) of Ord. No. 35 of 1934.
See notice No. 727.....dated. 14.10.1960
Prov. Gaz. No. 3050.....dated. 14.10.1960.

ENDORSEMENTS		ENDORSEMENTS	
①	Street Names added	File 5527/72/p. 42	<i>Ray</i> 19/4/60
②	Ptn. of Road Closed	Enf 3439	Adm App dd 23-8-36 5/5527/72/p. 61 7/8.24/36/20.
③	Portion of Public Place closed	ERF 7773	T/C's Notice d.d. 1946-01-14 5/5527/72/p.125 Consent p 18 REF: MR J. M. NASH DATE: 1993/11/17
④	Ptn of Road Closed	Now Enf 9883	Consent File: 5/5527/72/3 Ref: 5/4/34/4/12/195/35/23359 Fy 189 Date: 29-11-2010 T/C's Notice dd. 2011-03-18 page 192 File: 6/5527/72/3 v.2 Ref: 5/4/34/4/3/38/23/2343 # 28-29 Date: 24-06-2021
⑤	Ptn of Road Closed	Now Enf 12602	<i>f. Phillips</i> 2011-09-07

4 Bns. of even 2370, 2371, 2372 repl. vide E2169/75
 Bns. of even 2376 repl. vide E2381/80
 5 Bns. of erf 2338 repl. vide E431/91
 6 Bns. 2373a and J replaced vide E 2606/1999
 7 Erf 2339, included in cónsól vide dgm no 3294/2011 erf 9884
 8 Erf 2350 consolidated- Vide Dgm. 2714/2013 (Erf 10043)
 9 Erf 2352 consolidated- Vide Dgm. 2715/2013 (Erf 10044)
 10 Erf 2343 Consolidated- Vide Dgm 2245/2021 Erf 12603.

DATA OF MAIN FIGURES				
Sides	Angles of Direction	System No. 19		
Cape Feet		Co	Ordinates	x
Constant		+10000.00	+11358.00-00	
AB	180.00	351.00-00	A	+33.93.06 .22 + 819.15
BC	232.71	30.00-00	B	+33.93.75 + 996.82
CD	161.42	111.30-00	C	+33.93.42 + 1139.82
DE	345.08	59.00-00	D	+33.93.42 + 1420.14
EF	525.00	33.00-00	E	+34.01.11.73 + 1636.44
FG	300.00	33.00-00	F	+33.86.52 + 1735.45
HJ	514.12	50.10-20	H	+33.93.17 + 1755.11
JK	218.46	10.10-20	J	+34.03.04 + 1829.55
KL	745.00	128.30-20	K	+34.03.04 + 1873.00
LA	335.47	237.22-10	L	+34.03.20 + 1873.00
AL	355.00	171.00-00		
LE	355.00	304.58-46		
LN	133.85	10.01-30	N	+34.06.67.04 + 1441.41
NO	209.39	33.01-20	O	+34.03.87.58 + 1273.16
OP	234.83	30.70-32	P	+34.05.32.00 + 1255.00
PO	630.00	38.28-20	P	+34.09.37.20 + 1416.22
QR	122.70	40.28-20	Q	+33.89.30.30 + 1309.40
RS	424.10	91.04-50	R	+34.06.06.00 + 1370.00
ST	534.20	75.22-55	S	+34.02.00.00 + 1362.00
TU	603.80	53.53-30	T	+34.03.53.00 + 1362.00
UV	310.32	16.50-00	U	+34.03.55.00 + 1252.85
WV	261.85	16.50-00	V	+33.43.35.00 + 1225.00
WX	837.35	124.57-50	W	+33.49.31.97 + 1303.55
XY	556.67	126.01-40	X	+33.48.36.59 + 1321.77
YZ	556.67	126.01-40	Y	+33.48.36.59 + 1249.17
ZA	240.00	35.07-40	Z	+34.05.59.65 + 1245.44
A1B1	100.00	125.07-40	A1	+34.07.37.75 + 1245.44
B1C1	174.07	100.20-20	B1	+34.05.58.58 + 1206.16
C1D1	489.00	43.00-00	C1	+33.94.29.58 + 1216.22
D1E1	770.00	43.00-00	D1	+33.94.74.29 + 1804.22
E1F1	100.00	322.00-00	E1	+33.80.05.72 + 1763.64
F1G1	485.00	322.00-00	F1	+33.75.04.22 + 1763.64
G1H1	165.00	232.00-00	G1	+33.75.04.22 + 1598.98
H1I1	324.16	232.00-00	H1	+33.74.59.51 + 1512.22
I1J1	444.15	261.00-00	I1	+33.72.56.17 + 1474.44
J1K1	110.84	252.19-10	J1	+33.72.56.17 + 1474.44
K1L1	140.84	252.19-10	K1	+33.72.56.17 + 1474.44
L1M1	360.00	252.19-10	L1	+33.72.56.17 + 1474.44
M1N1	244.32	252.19-10	M1	+33.72.56.17 + 1474.44
N1O1	630.35	238.30-00	N1	+31.57.50.88 + 1058.58
O1P1	220.39	210.37-00	O1	+31.03.23.23 + 673.73
P1Q1	243.91	275.30-00	P1	+31.07.31.97 + 440.00
Q1R1	788.37	333.38-20	Q1	+31.07.31.97 + 440.00

CO-ORDINATES OF BLOCK CORNERS		
23330	+94890.50	+57879.69
23336	+94896.77	+57766.84
23342	+94907.14	+57733.85
23366	+94931.71	+57704.87
23778	+94882.77	+57573.04
2320X	+9475.93	+57564.00
2320X	+9487.66	+57564.00
2320X	+94655.93	+57785.00
23260	+94665.67	+57587.67
2332X	+94438.70	+57265.16
2333X	+94159.37	+57265.16
2333X	+9459.52	+57792.32
23406	+94530.50	+57256.01
23400	+94511.73	+57133.12
23400	+94537.36	+57133.12
23400	+94511.73	+57133.12
23434	+94582.85	+57012.41
23440	+94267.61	+57721.01
23446	+94433.68	+57686.85
23454	+94109.08	+57533.84
23456	+94046.16	+57533.84
23456	+94033.05	+57146.00
23494	+94042.82	+57392.17
23534	+93676.93	+56639.43
23544	+93562.81	+56732.55
23544	+93562.81	+57058.16
2354C	+93485.22	+57065.61
23554	+93731.01	+56901.49
2359d	+93479.37	+57171.66
23604	+93479.37	+57171.66
23604	+93442.88	+57953.31
23674	+934075.07	+57552.02
18674	+93502.05	+57165.86

SECTIONAL TITLES			
ERF NO.	SRE NO.	SGD NO.	SS NO.
2346	361/2022	D 130/2022	

Description of Beacons		6 603.5/93	6 603.6/93	6 603.7/93	6 603.8/93	6 603.9/93	6 604.0/93
P	- Fencing standard pag.						
Q	- 1/2 round iron pag in Cement at top of Rock.						
R.V.	- Section of fence standards under cairn.						
S	- 1" Pag under cairn.						
T.V.	- 3/4 Bars under cairn.						
U	- 1/2 round iron pag under cairn.						
V	- Section of fence standard in masonry.						
2135A	- 1" Holes drilled in granite with 1/2" pags under cairns.						
2135B							
2135C							
2135D							
RMI	- 3/4" Pag and truncated cement cone 2.6 feet high.						
	All other beacons are 1/2 round iron pags.						

beacons are 1/2 round iron pags.

④ 3293/2011	9883	198 m ²
⑤ 2244/2021	12603	1230 242

File: 9/5327/72/3
E-record: E2083/959
Original-dgms: 9/80-1/1959
Noting Plan: AH-15A/Ma/Vaa
V+3
AHNB - 2163
2161

m

ART. 24 (6), NLE NO. 9 VAN 1927, SECT. 24 (), ACT NO. 9 OF 1927.

SIDES Cape Feet		ANGLES OF DIRECTION		SYSTEM I. 19 CO-ORDINATES	
				<i>y</i>	<i>x</i>
		Constant	+193000.00	+11956000.00	
AB	180.00	351. 0. 0	A	+ 306.22	+ 819.13
BC	232.71	30. 0. 0	B	+ 278.06	+ 996.92
CD	161.22	111.30. 0	C	+ 394.42	+1198.46
DE	545.18	59. 0. 0	D	+ 544.42	+1139.37
EF	320.00	329. 0. 0	E	+1011.73	+1420.16
FG	80.00	59. 0. 0	F	+ 846.92	+1694.45
GH	20.52	342. 3.30	G	+ 915.49	+1735.65
HJ	514.12	50.10.20	H	+ 909.17	+1755.17
JK	218.46	10.10.20	J	+1304.00	+2084.46
KL	744.00	124.58.40	K	+1342.59	+2299.50
LA	1954.47	237.22.10	L	+1952.20	+1873.00
LL'	355.00	304.58.40			
AA'	45.00	171. 0. 0			

S.G. No. 9181/59

Approved

J. H. Harkins
Surveyor-General.
20 - 4 - 1960

BEACONS :

ABCDEFGHJK - $\frac{1}{2}$ " round iron pegs.
 L - Section of fence standard
 in masonry beacon.

Scale 1 / 5000.

The figure A'ARCDEFGHJKL' curved line 120' above High Water Mark
represents 13.5721 Morgen of land being

~~Erf 2507~~ ^{Remainder} ~~(Portion of Erf 1304)~~ Hout Bay

Local Area of Hout Bay
situate in the Division of Cape Province of Cape of Good Hope.

Surveyed in July 1952 - Jan. by me
1953
Jan. - Sept. 1958.

Ar. Boye
Land Surveyor.

For subdivisions of this property vide General
Plan TP 1745-LD (Hout Bay Ext 12)

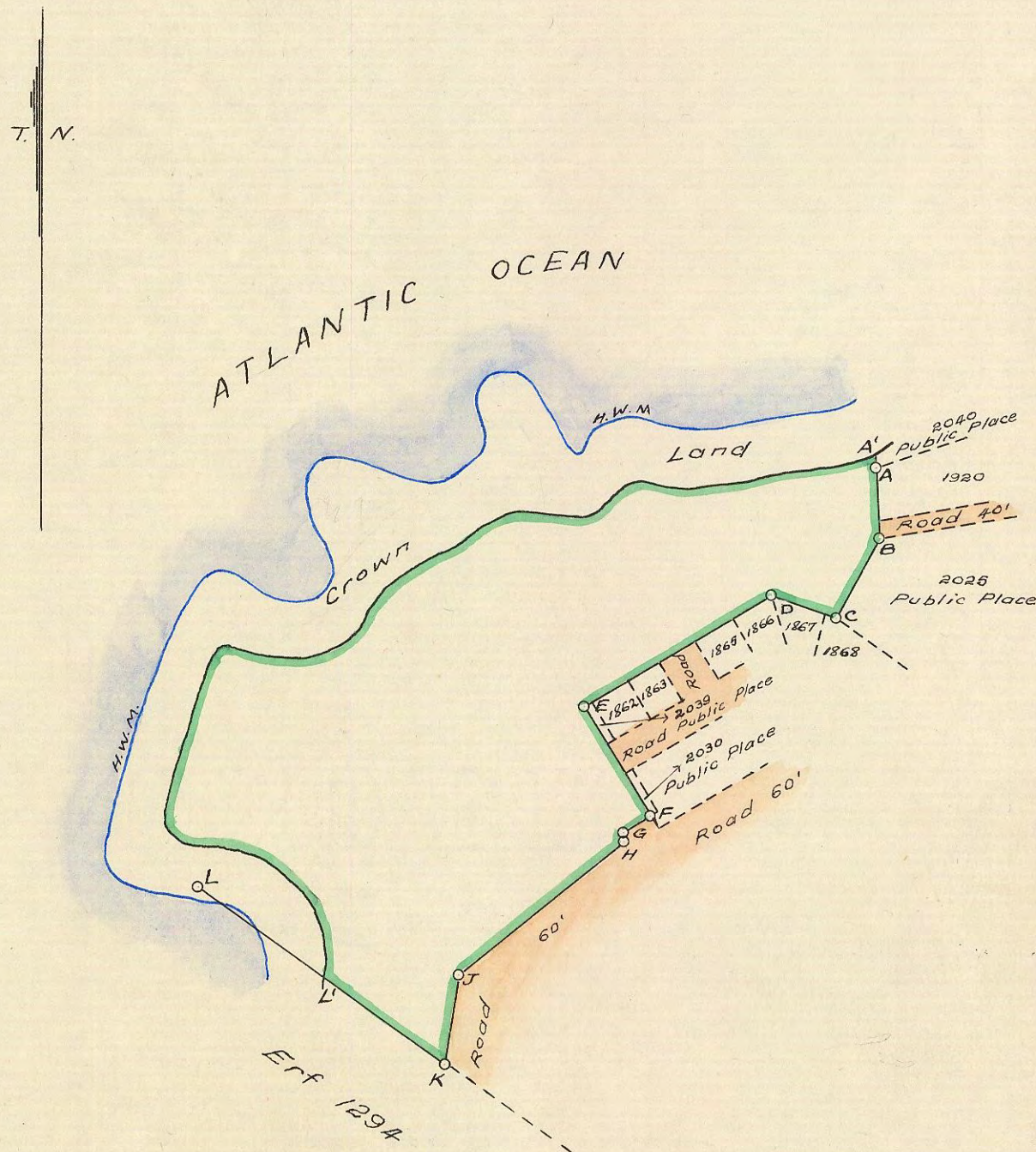
This diagram is annexed to
1945-97-4831

Registrar of Deeds.

The original diagram is for which
this is substituted is
No. 5718/44 annexed to
D/T. 1945-97-4831.

S.G. File No. S/5327/72/3.
S.R. No. E. 2063/59.
AU-1BA/V44 & W4. V43

1/2/59 ~~REPLACEMENTS~~ ~~DIAGRAM~~ ~~FOR SUBSTITUTION~~
ART. 24 (b), WET NO. 9 VAN 1927/SECT. 24 (), ACT NO. 9 OF 1927.



SIDES <i>Cape Feet</i>		ANGLES OF DIRECTION	SYSTEM L. 19 CO-ORDINATES		
				y	x
		Constant		+193000.00	+11956000.00
AB	180.00	351. 0. 0	A	+ 306.22	+ 819.13
BC	232.71	30. 0. 0	B	+ 278.06	+ 996.92
CD	161.22	111.30. 0	C	+ 394.42	+1198.46
DE	545.18	59. 0. 0	D	+ 544.42	+1139.37
EF	320.00	329. 0. 0	E	+1011.73	+1420.16
FG	80.00	59. 0. 0	F	+ 846.02	+1694.45
GH	20.52	342. 3.30	G	+ 915.40	+1735.65
HJ	514.12	50.10.20	H	+ 909.17	+1755.17
JK	218.46	10.10.20	J	+1304.00	+2084.46
KL	744.00	124.58.40	K	+1342.59	+2299.50
LA	1954.47	237.22.10	L	+1952.20	+1873.00
LL'	355.00	304.58.40			
AA'	45.00	171. 0. 0			

S.G. No. 9181/59

Approved

J. H. H. H.
Surveyor-General.
20-4-1960

BEACONS:

- ABCDEFGHIJK - 1/2" round iron pegs.
- L - Section of fence standard in masonry beacon.

Scale 1/5000.

The figure A'ABCDEFGHIJKL' curved line 120' above High Water Mark
represents 13.5721 Morgen of land being

Erf 2507 (Remainder of Erf 1304) Hout Bay

Local Area of Hout Bay
situate in the Division of Cape

Province of Cape of Good Hope.

Surveyed in July 1952 - Jan. by me
1953
Jan. - Sept. 1959.

A. B. B.
Land Surveyor.

For subdivisions of this property vide General
Plan. T.P. 1745^{LD} (Hout Bay Ext 12)

This diagram is annexed to
1945-97-4831

Registrar of Deeds.

The original diagram is for which
this is substituted is
No. 5713/44 annexed to
D/T. 1945-97-4831.

S.G. File No. S/5327/72/3.
S.R. No. E. 2063/59.
AH-1BA/V44 & W4. V43